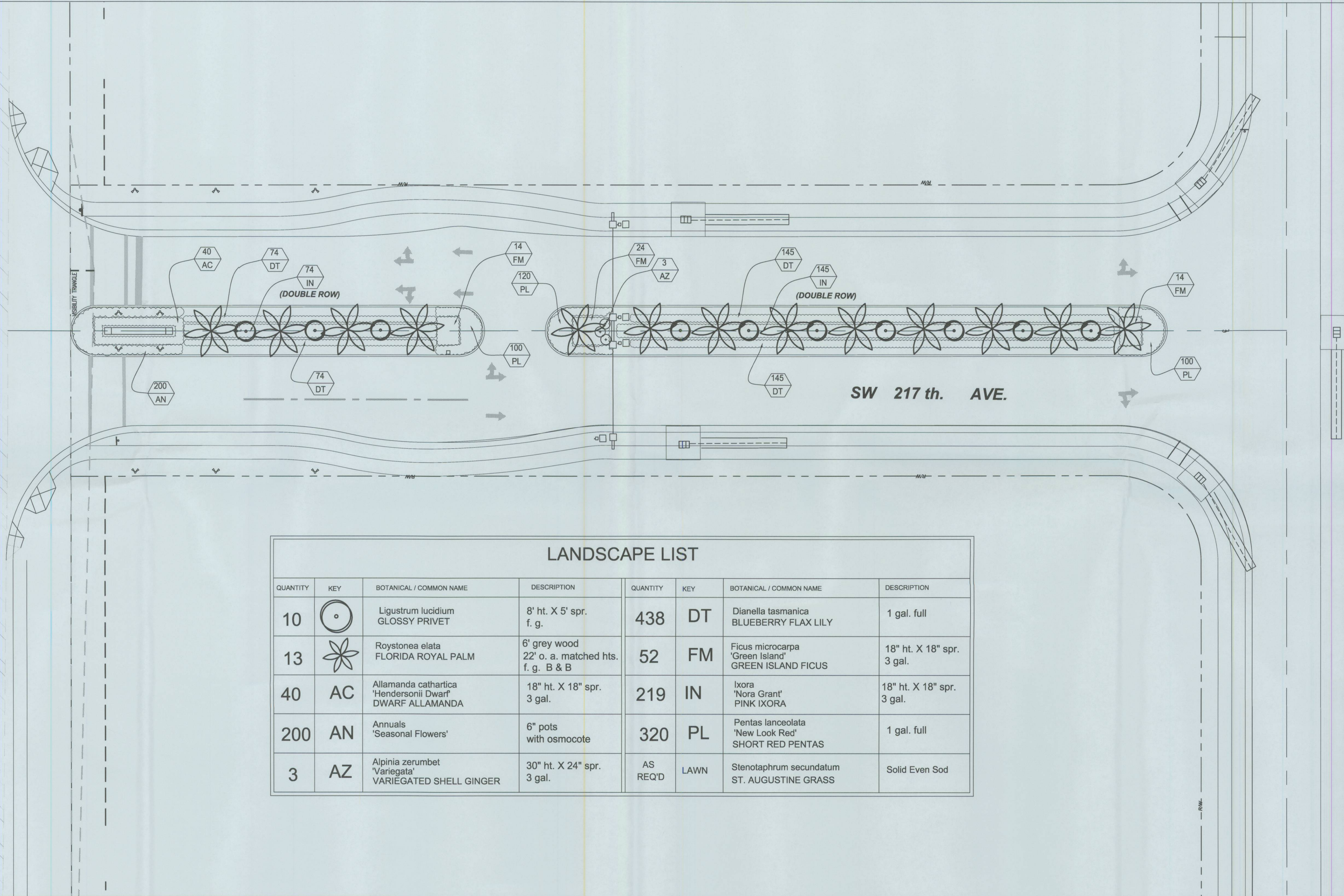




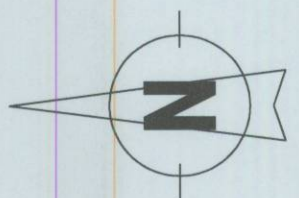
MORENO FARMS
ENTRANCE FEATURE 08-EF-002
SEC. 16, TWP. 57 RGE. 38
MUNICIPALITY: DADE
ZONING: AU

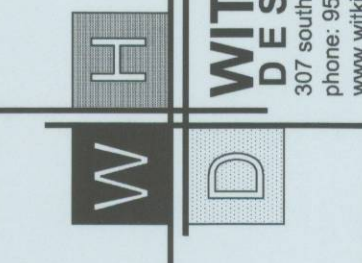
SW 312 th. ST.



LANDSCAPE LIST

QUANTITY	KEY	BOTANICAL / COMMON NAME	DESCRIPTION	QUANTITY	KEY	BOTANICAL / COMMON NAME	DESCRIPTION
10		Ligustrum lucidum GLOSSY PRIVET	8' ht. X 5' spr. f. g.	438	DT	Dianella tasmanica BLUEBERRY FLAX LILY	1 gal. full
13		Roystonea elata FLORIDA ROYAL PALM	6' grey wood 22' o. a. matched hts. f. g. B & B	52	FM	Ficus microcarpa 'Green Island' GREEN ISLAND FICUS	18" ht. X 18" spr. 3 gal.
40	AC	Allamanda cathartica 'Hendersonii Dwarf' DWARF ALLAMANDA	18" ht. X 18" spr. 3 gal.	219	IN	Ixora 'Nora Grant' PINK IXORA	18" ht. X 18" spr. 3 gal.
200	AN	Annuals 'Seasonal Flowers'	6" pots with osmocote	320	PL	Pentas lanceolata 'New Look Red' SHORT RED PENTAS	1 gal. full
3	AZ	Alpinia zerumbet 'Variegata' VARIEGATED SHELL GINGER	30" ht. X 24" spr. 3 gal.	AS REQ'D	LAWN	Stenotaphrum secundatum ST. AUGUSTINE GRASS	Solid Even Sod





WITKIN HULTS
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Project: **Moreno Farms**
Miami-Dade County, Florida
Main Entry Feature Landscape Plans

Revisions:

Seal:

SEP 3 4 2007

Lic. # LA0000889
Member: A.S.L.A.

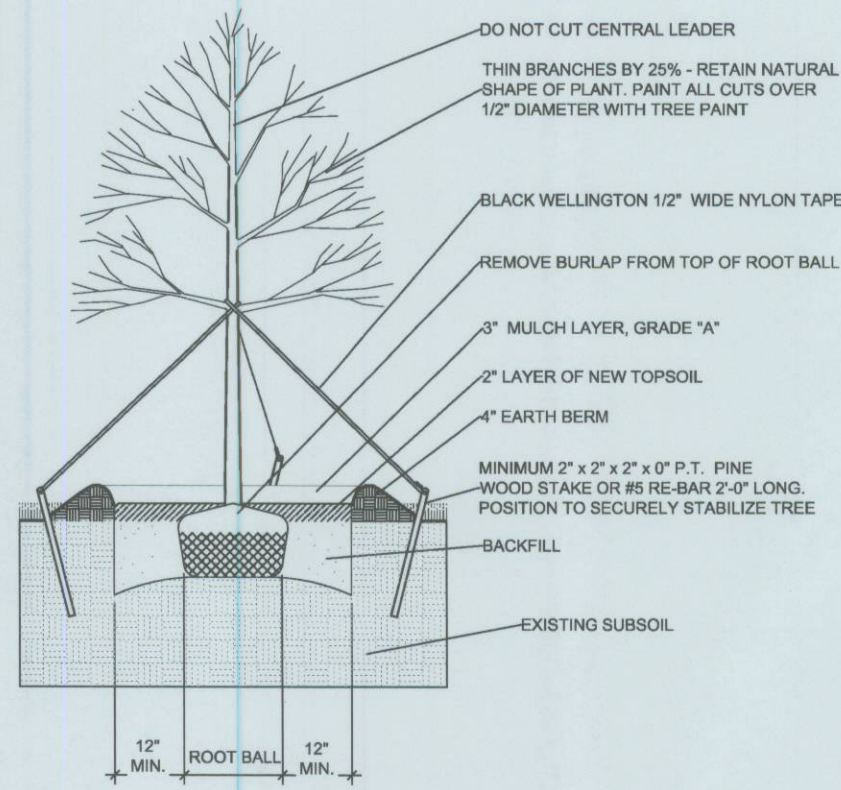
Project Name: ENTRY FEATURE
LANDSCAPE PLAN

Date: 09/04/2007

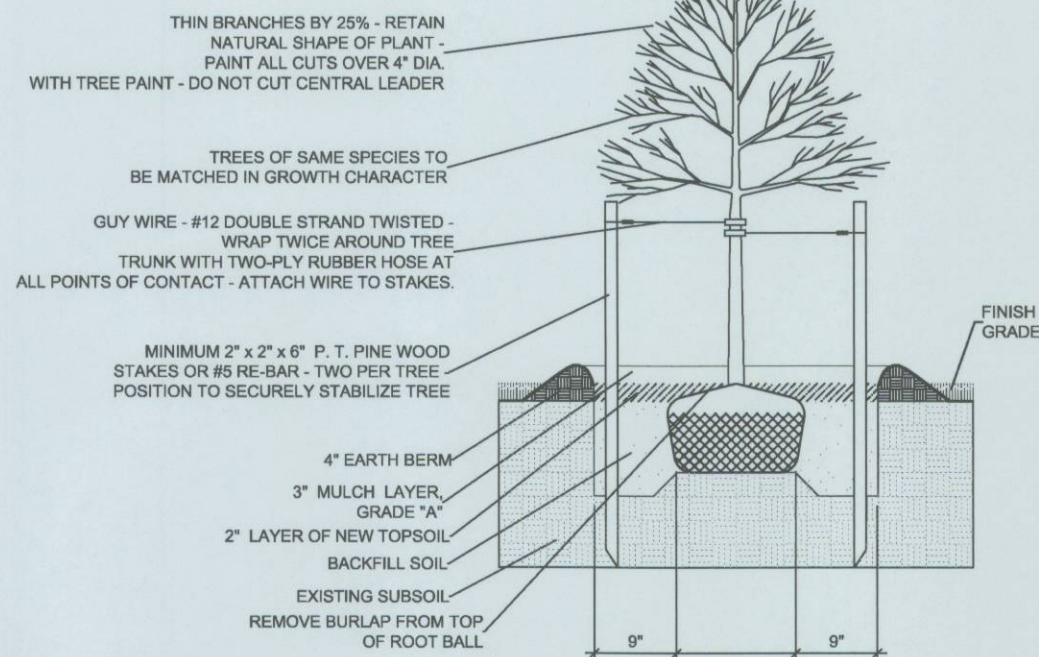
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Drawn by: KH

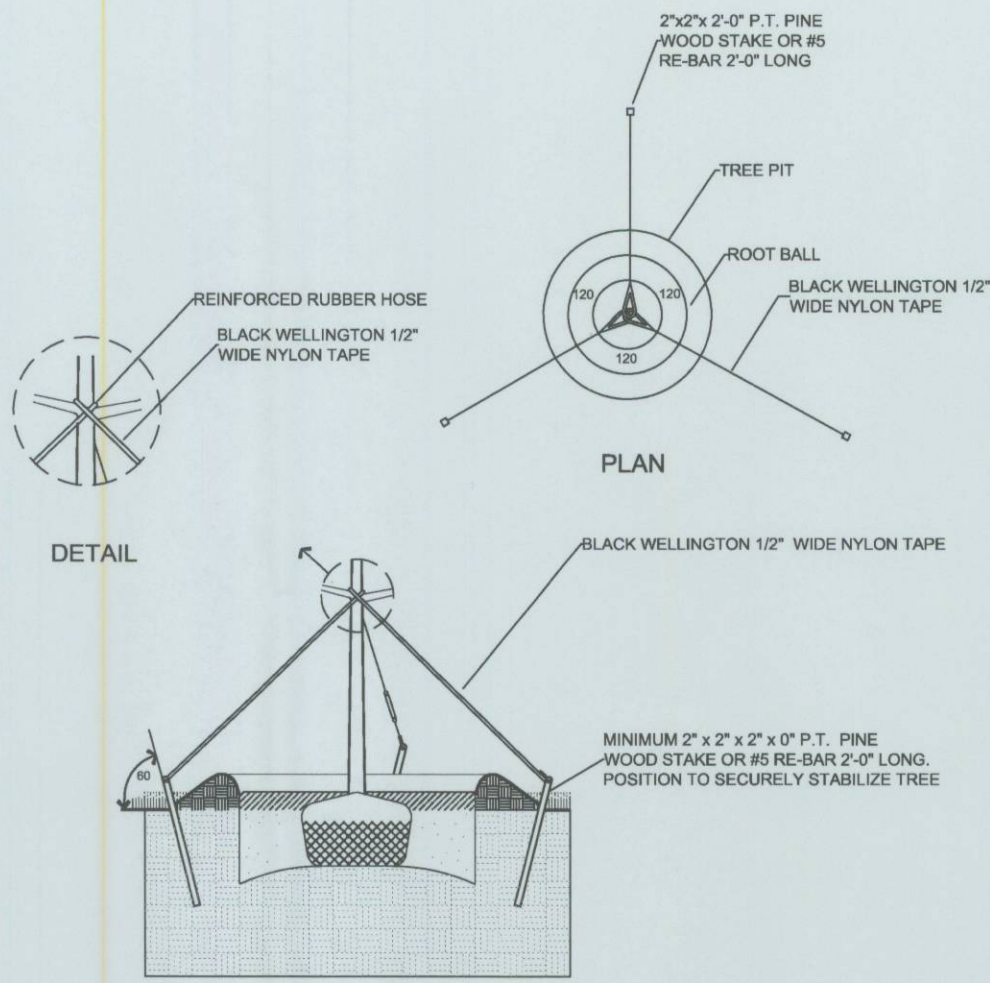
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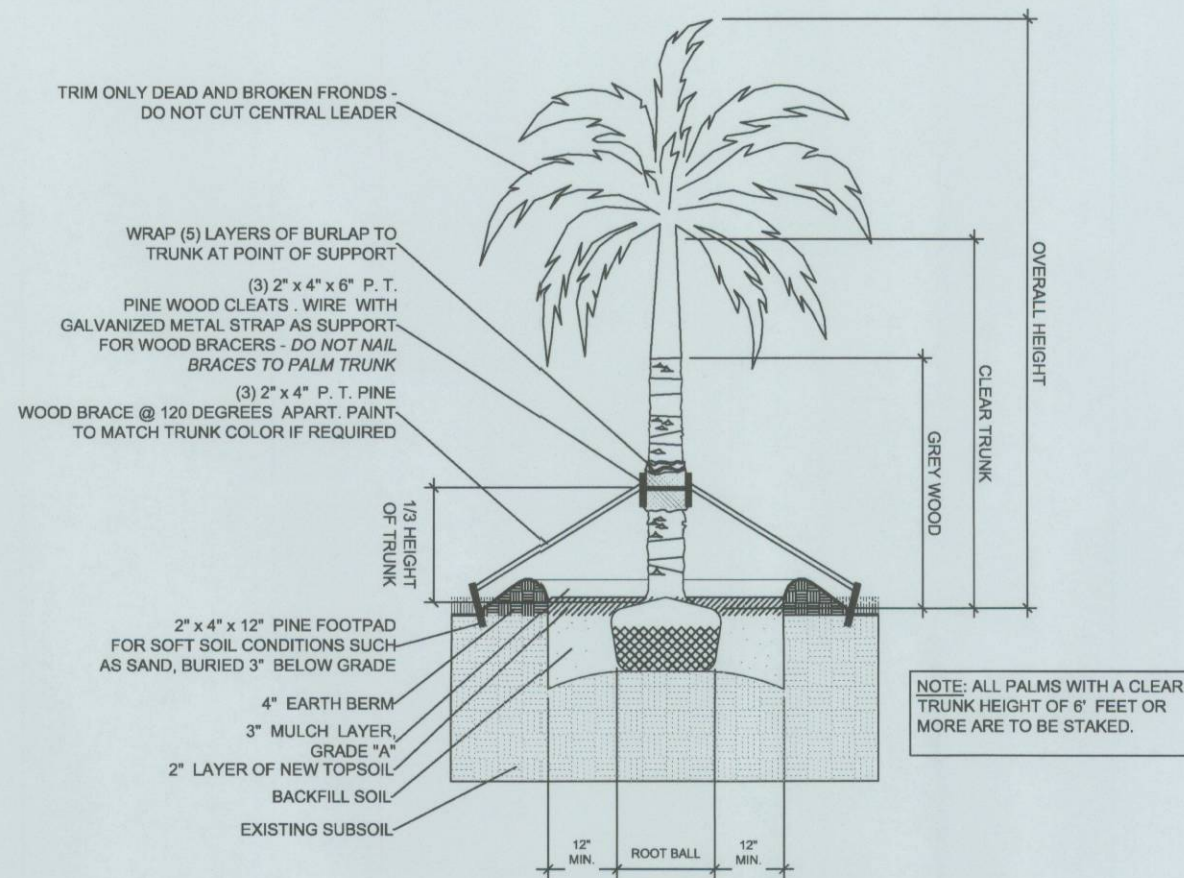
LARGE TREE PLANTING DETAIL



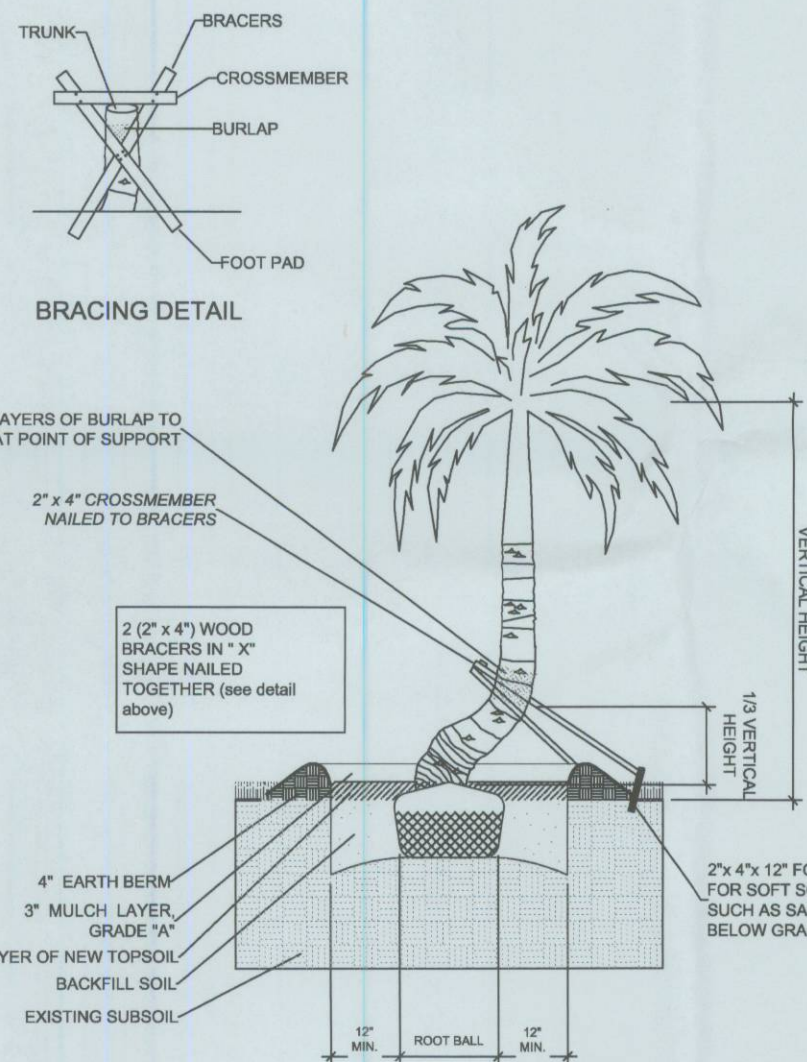
SMALL TREE PLANTING DETAIL



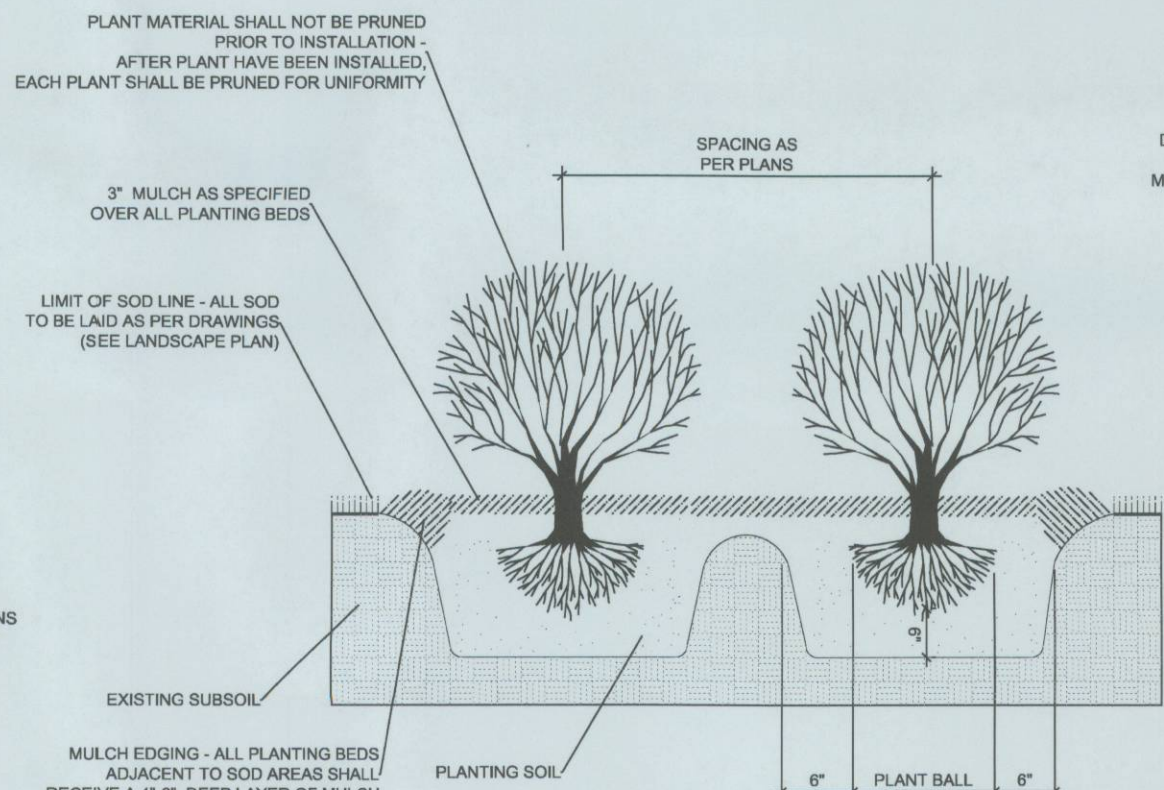
TYPICAL TREE GUYING DETAIL



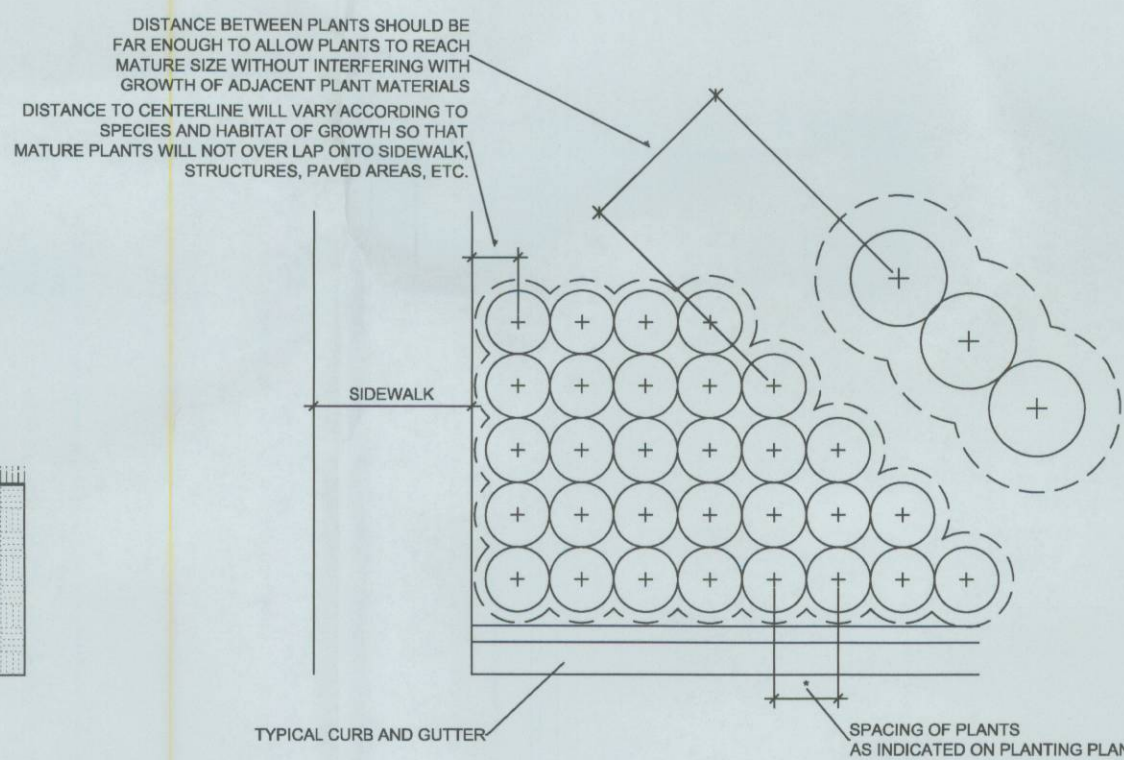
STRAIGHT TRUNK PALM PLANTING DETAIL



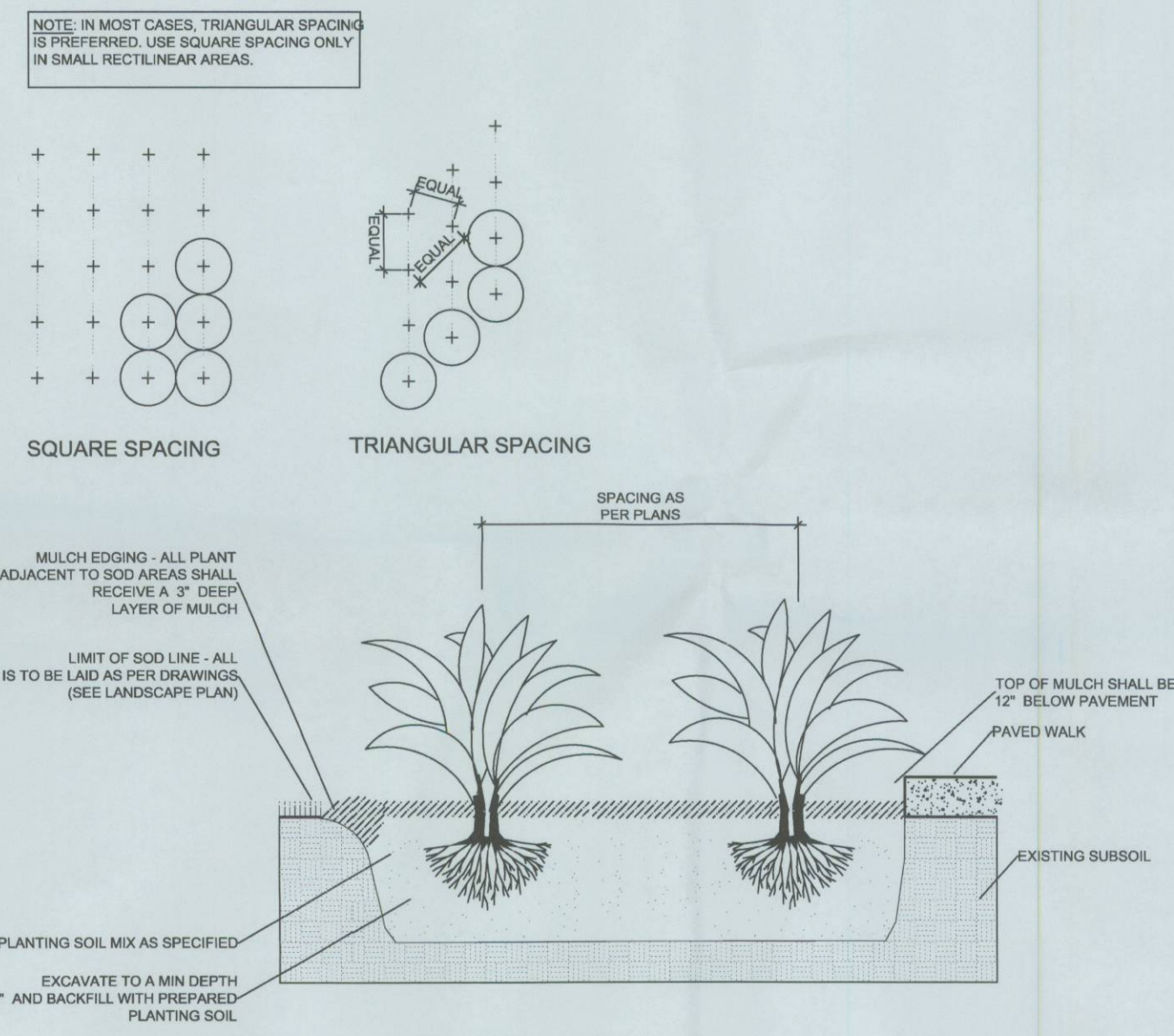
CURVED TRUNK PALM PLANTING DETAIL



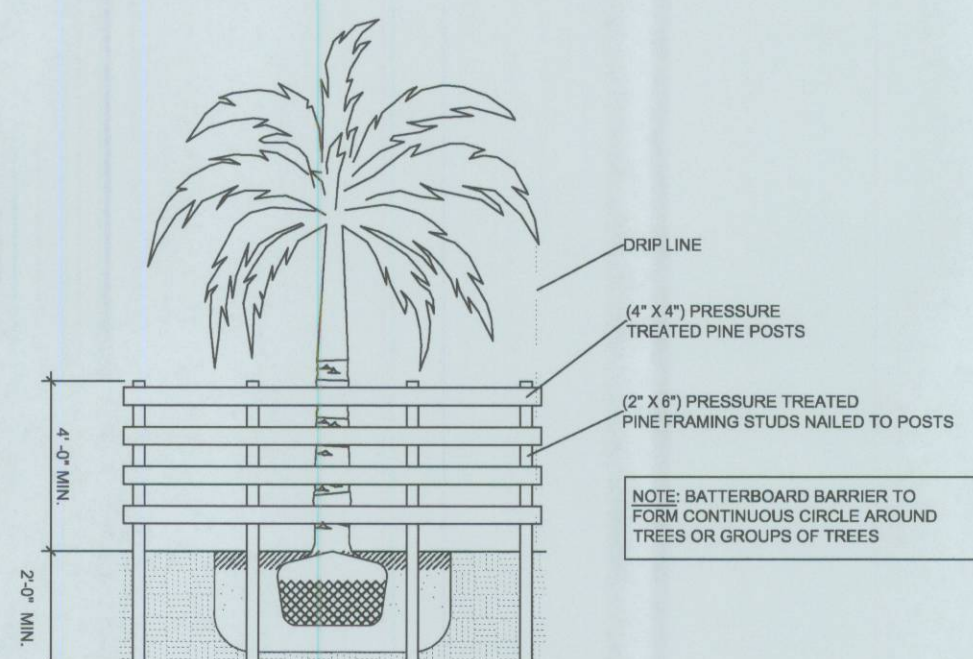
TYPICAL SHRUB PLANTING DETAIL



TYPICAL CONTAINER SPACING



TYPICAL GROUND COVER PLANTING DETAIL



BATTERBOARD PROTECTION FOR EXISTING TREES AND PALMS

PLANTING NOTES:

(See plant specification and details for additional standards)

-All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

-Sod is to be grade "A" weed free.

-All areas marked "LAWN" shall be solid sodded with St. Augustine "Floratum" solid sod. See limit on plan. All areas marked "Bahia Grass" shall be solid sodded with Paspalum notatum. All sod is to be laid level, tight, and cut even along planting beds.

-All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.

-Planting plans shall take precedence over plant list in case of discrepancies.

-No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and / or deletions to the plant material must be approved by the project engineer.

-Landscape Contractor is responsible for providing their own square footage takeoffs and field verifications for 100 % sod coverage for all areas specified.

- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.

- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.

- All lawn located in parking islands is to be set flush with top of curb. Provide adequate soil to within 3" of top of curb.

- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.

- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free by Morris Magic soil, Hialeah, Florida. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.

- Tree and shrub pits will be supplemented with "Agriform Pellets", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

GENERAL NOTES:

-The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

-Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.

-All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.

-All planting plans are issued as directives for site layout. Any deviations, site changes, et cetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.



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Moreno Farms
Miami-Dade County, Florida

Project:

Revisions:

Seal:

SEP 24 2007
aw
Lic. # LA0000889
Member: A.S.L.A.

Project Name: LANDSCAPE DETAILS

Date: 07/05/2007

Scale: N.T.S.

Drawn by: HAS

Sheet No.:

L-2

MORENO FARMS ENTRY FEATURE

FOR LENNAR HOMES
MIAMI DADE, FLORIDA



LENNAR

OWNER

LENNAR HOMES
730 NW 107TH AVENUE, 4TH FLOOR
MIAMI, FL. 33172

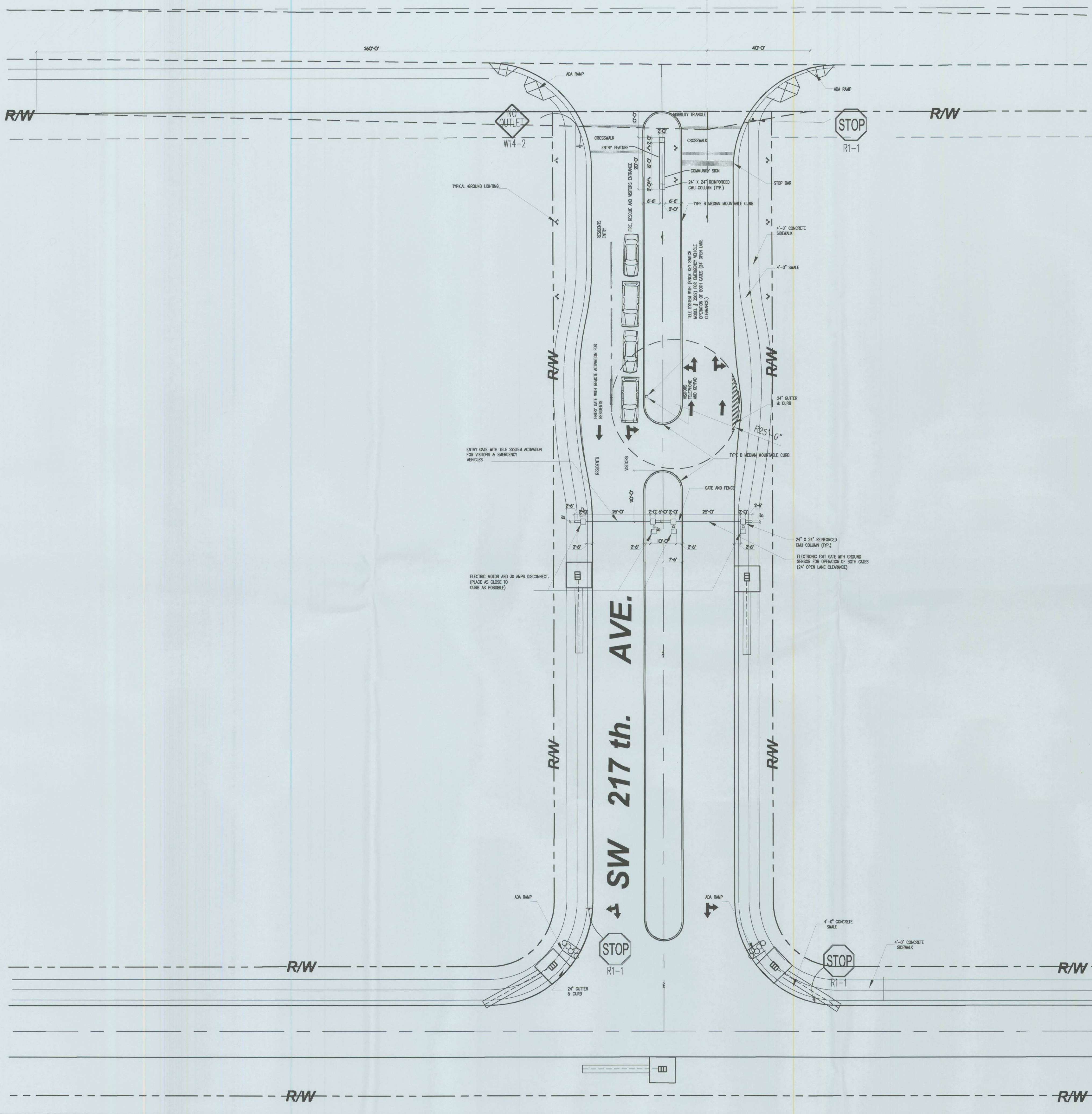
PH (305) 559-1951
FAX (305) 228-7295



ARCHITECT

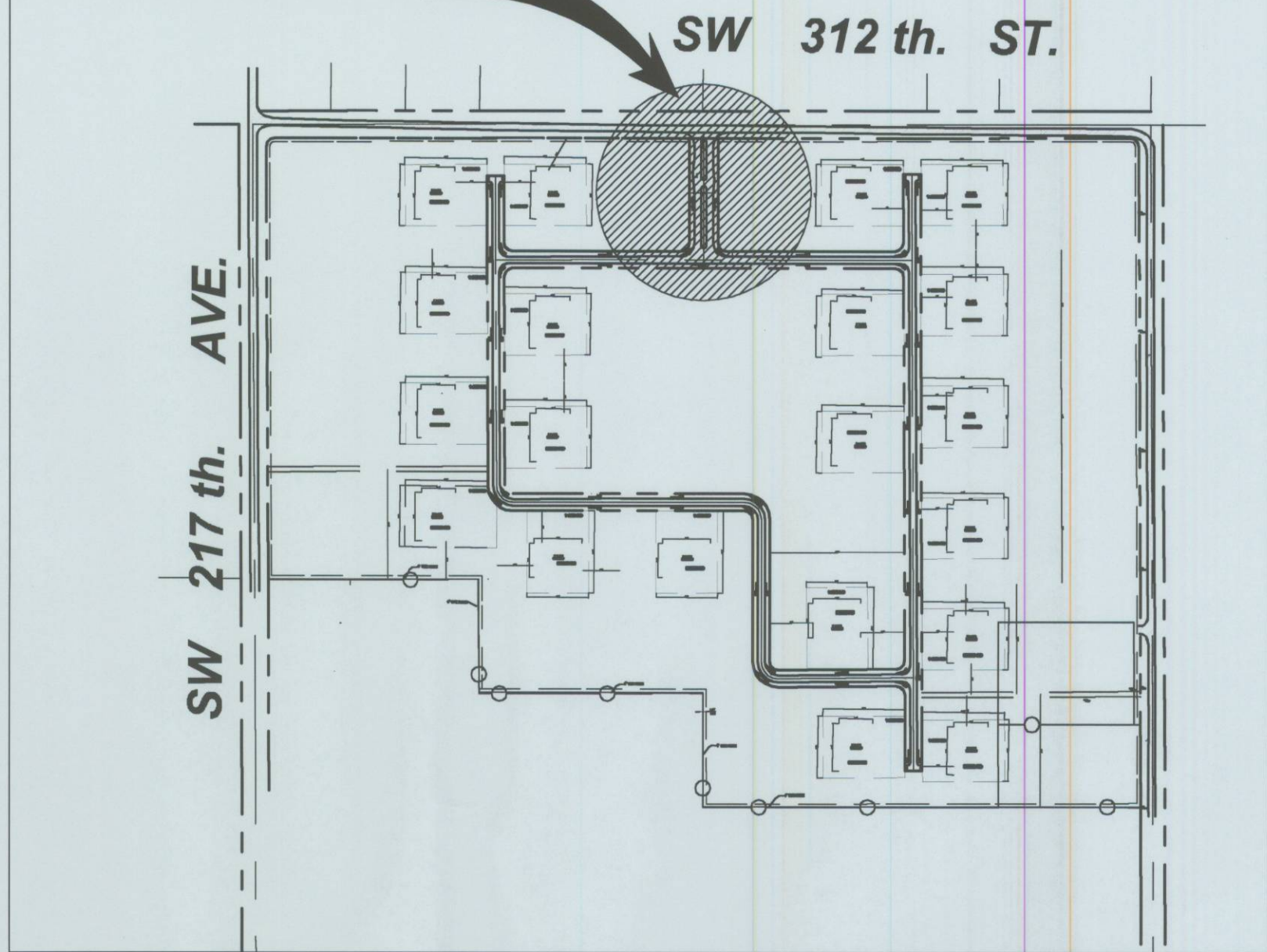
CORWIL ARCHITECTS, INC.
4102 LAGUNA STREET
CORAL GABLES, FL. 33146

PH (305) 448-7383
FAX (305) 448-8853



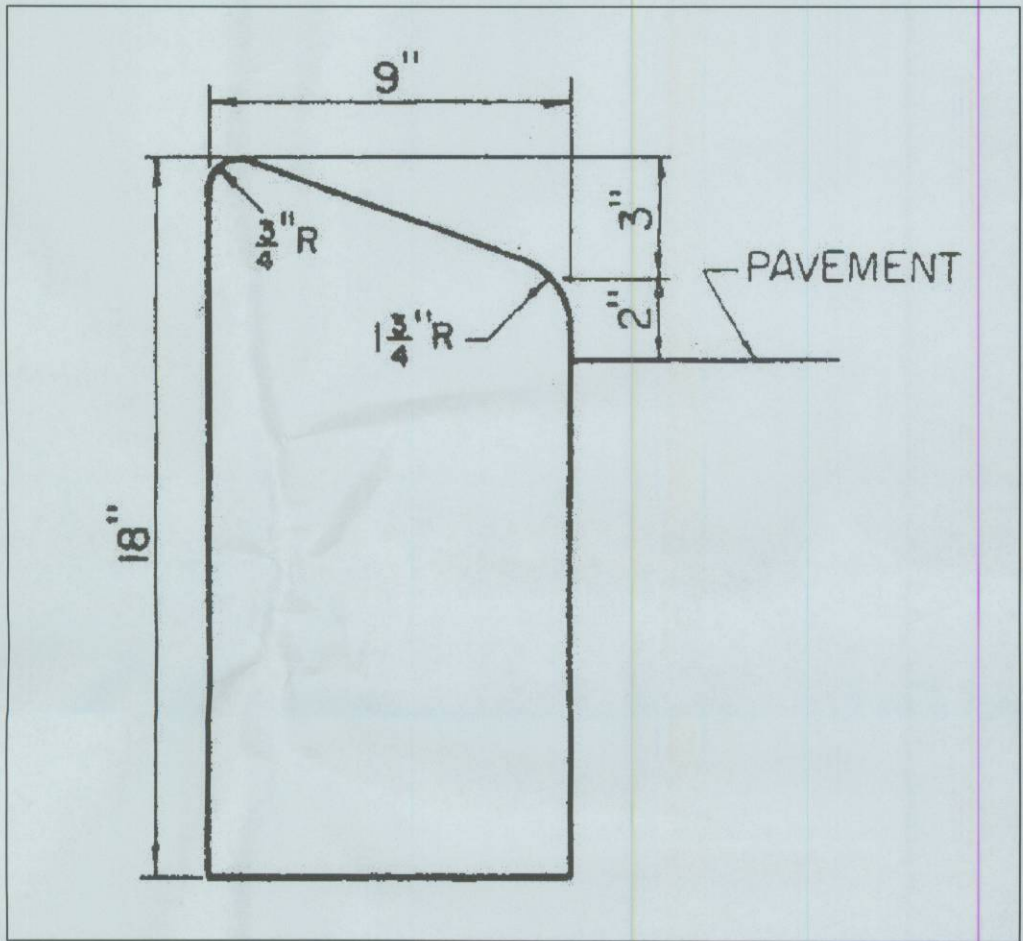
ENTRY SITE PLAN
SCALE: 1"=20'-0"

THIS PROJECT



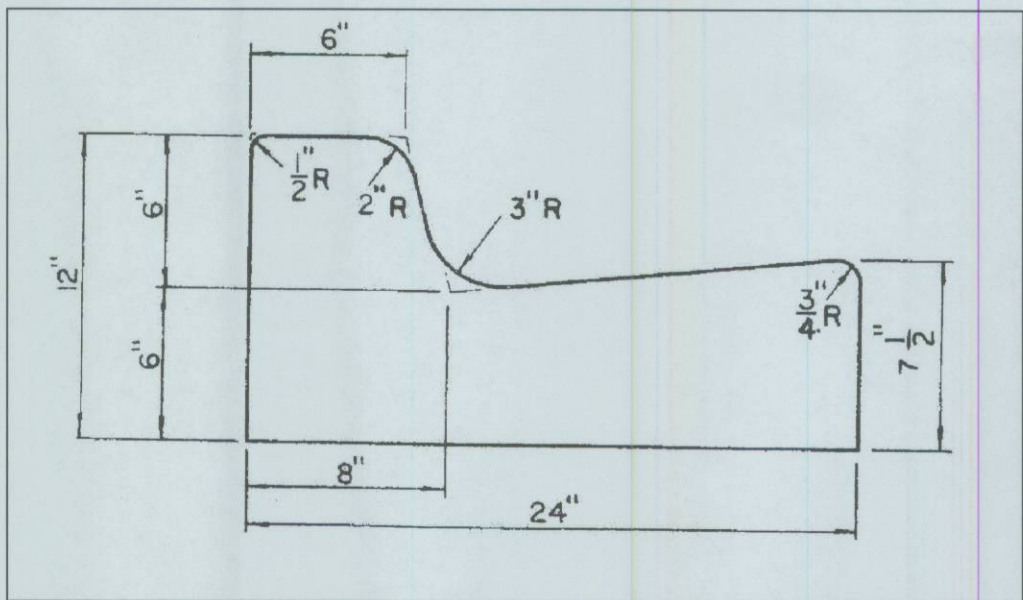
LOCATION MAP

SCALE: N.T.S.



TYPE "B" MEDIAN CURB DETAIL

SCALE: N.T.S.



6" CURB AND GUTTER DETAIL

SCALE: N.T.S.

NOTE:
ADA STANDARDS WILL BE MAINTAIN FOR
HANDICAPPED ACCESSIBILITY CIRCULATION
THROUGHOUT THE MORENO FARMS COMMUNITY.



1320 S. DIXIE HWY, No 1070
CORAL GABLES, FL 33146
LIC. No. AA-C002151 TEL: (305) 448-7383

PROJECT NAME:

MORENO
FARMS

MIAMI-DADE COUNTY,
FLORIDA

OWNER:

LENNAR
HOMES

CONSULTANTS:

PHASE

DESIGN DEVELOPMENT

REVISIONS

SEAL

Angel Puentes
11/17/07

ANGEL PUENTES
ARCHITECT NO. 0009348
4102 LAGUNA STREET
CORAL GABLES, FL 33146

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SHEET TITLE

SITE & LOCATION
PLAN

DATE: 11-21-2006

JOB NO. 2006-31

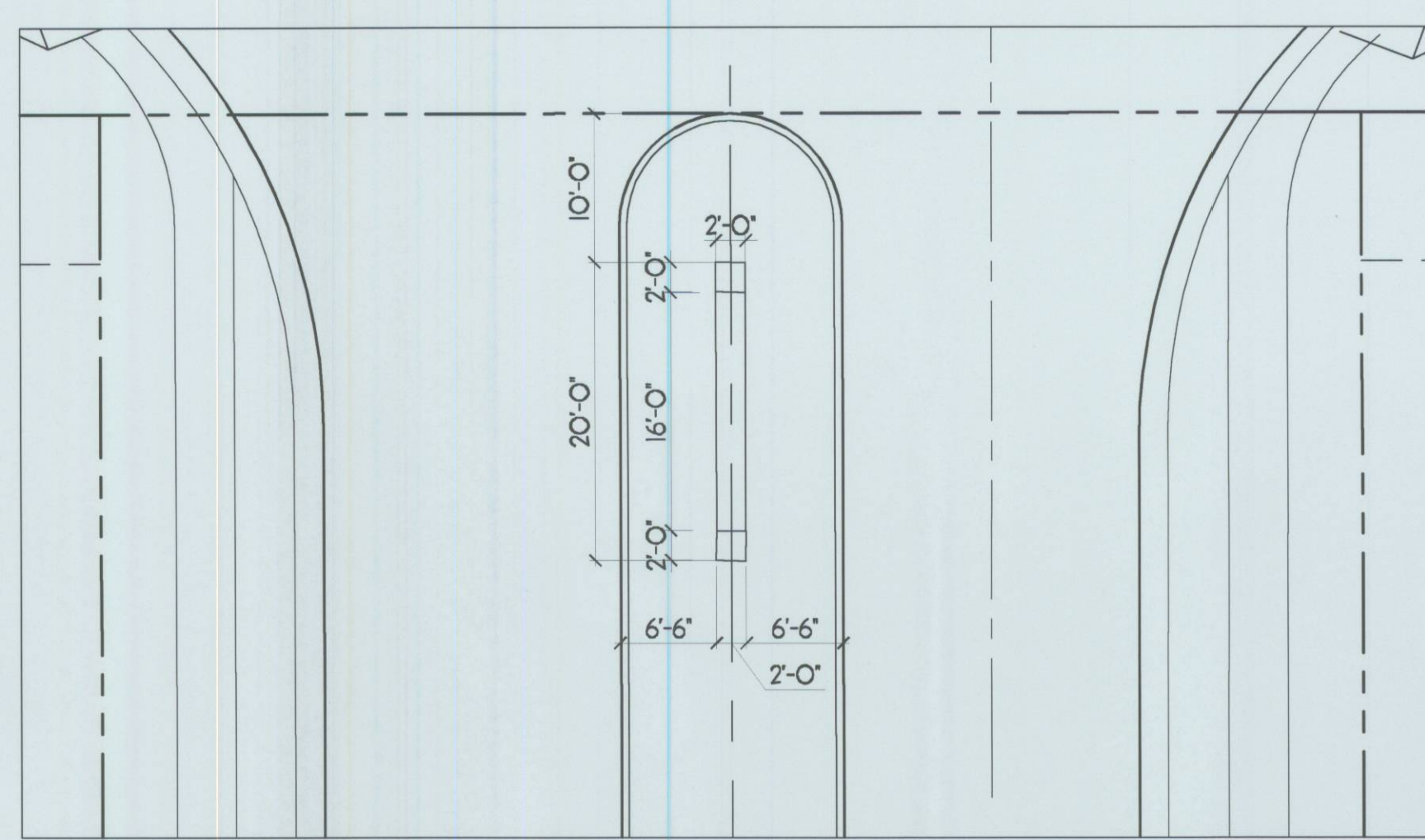
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APPR BY AMC

FILE 2006-31

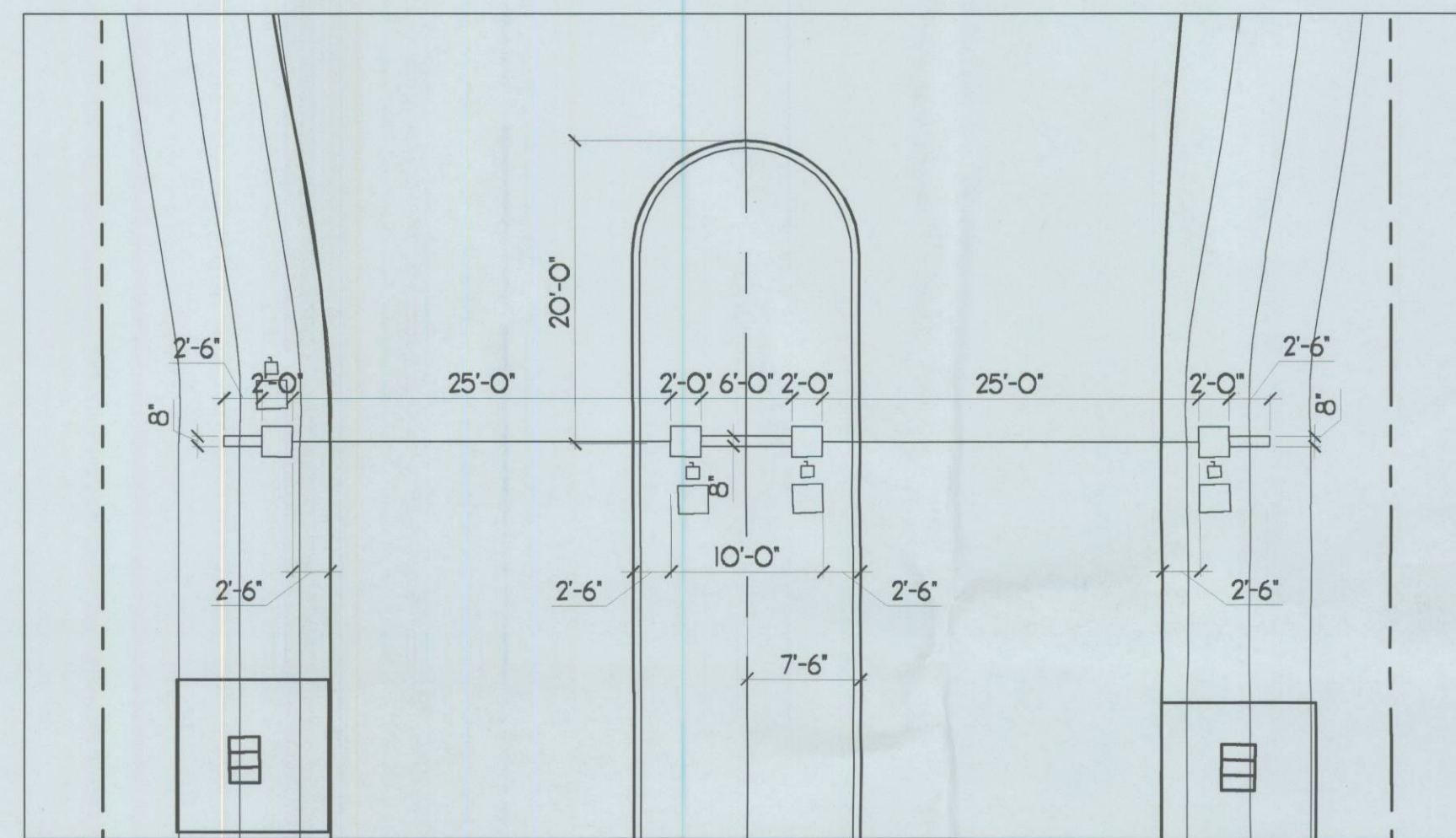
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A-1.0



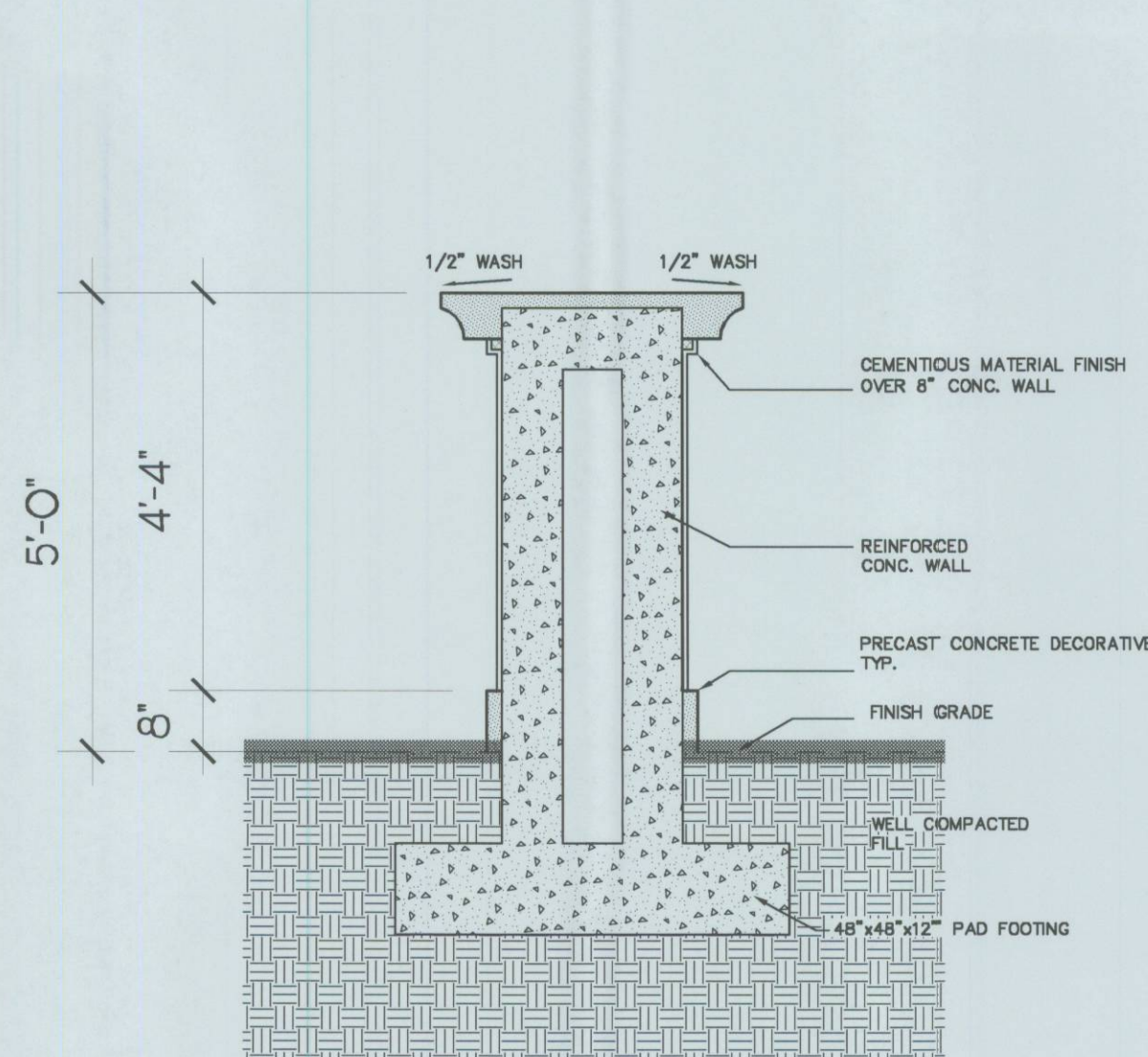
ENTRY MONUMENT PARTIAL SITE PLAN

SCALE: 3/32"=1'-0"

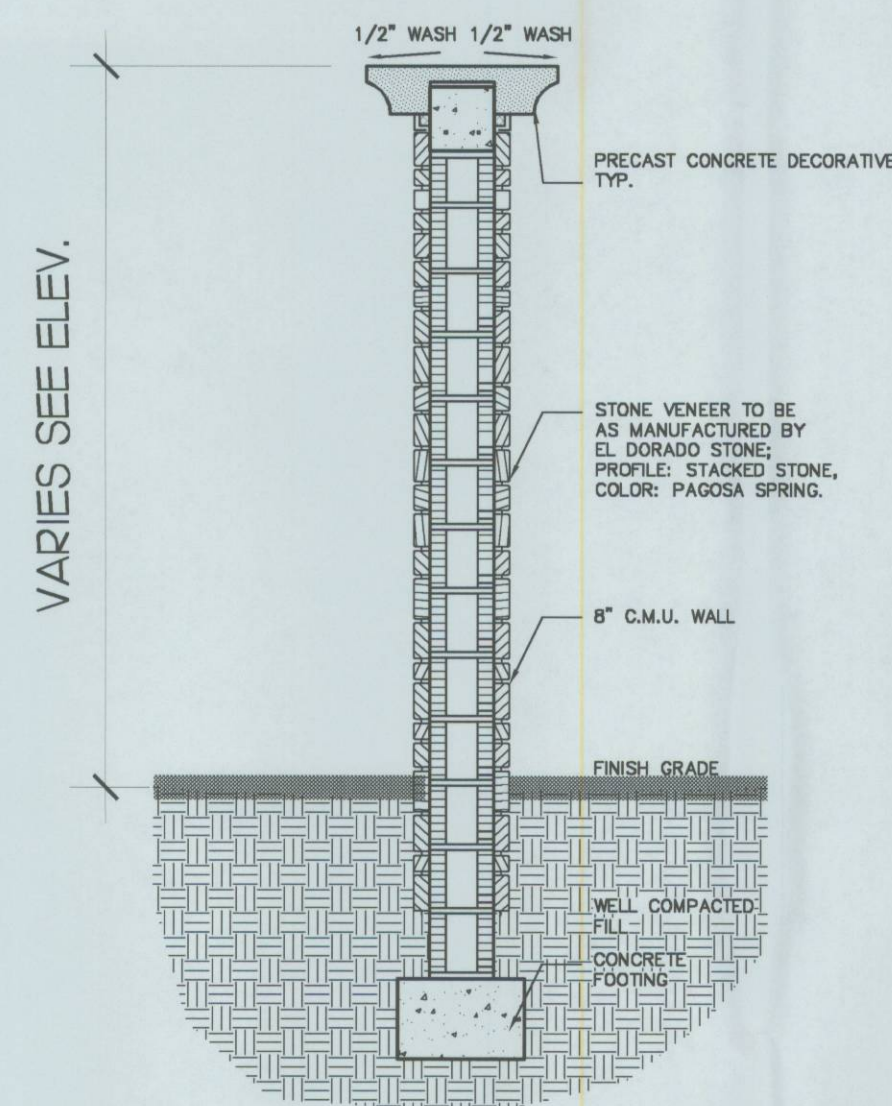


ENTRY GATE PARTIAL SITE PLAN

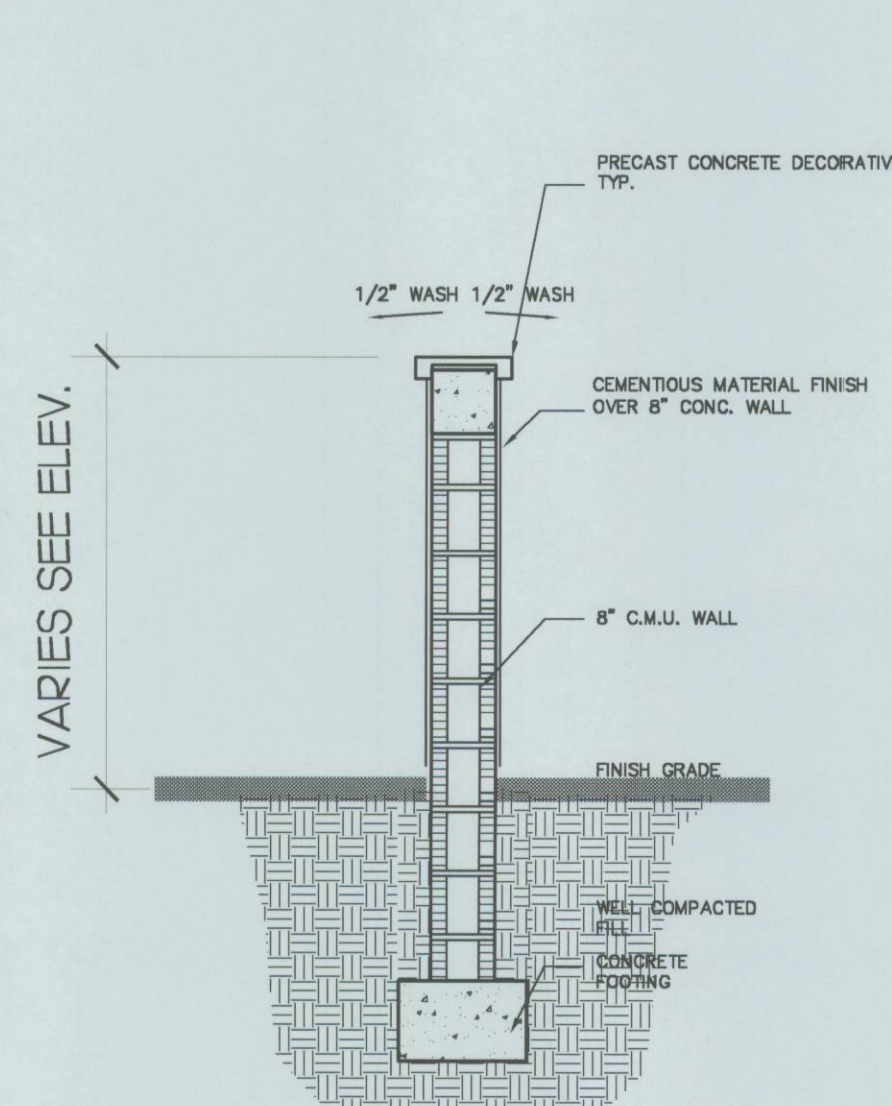
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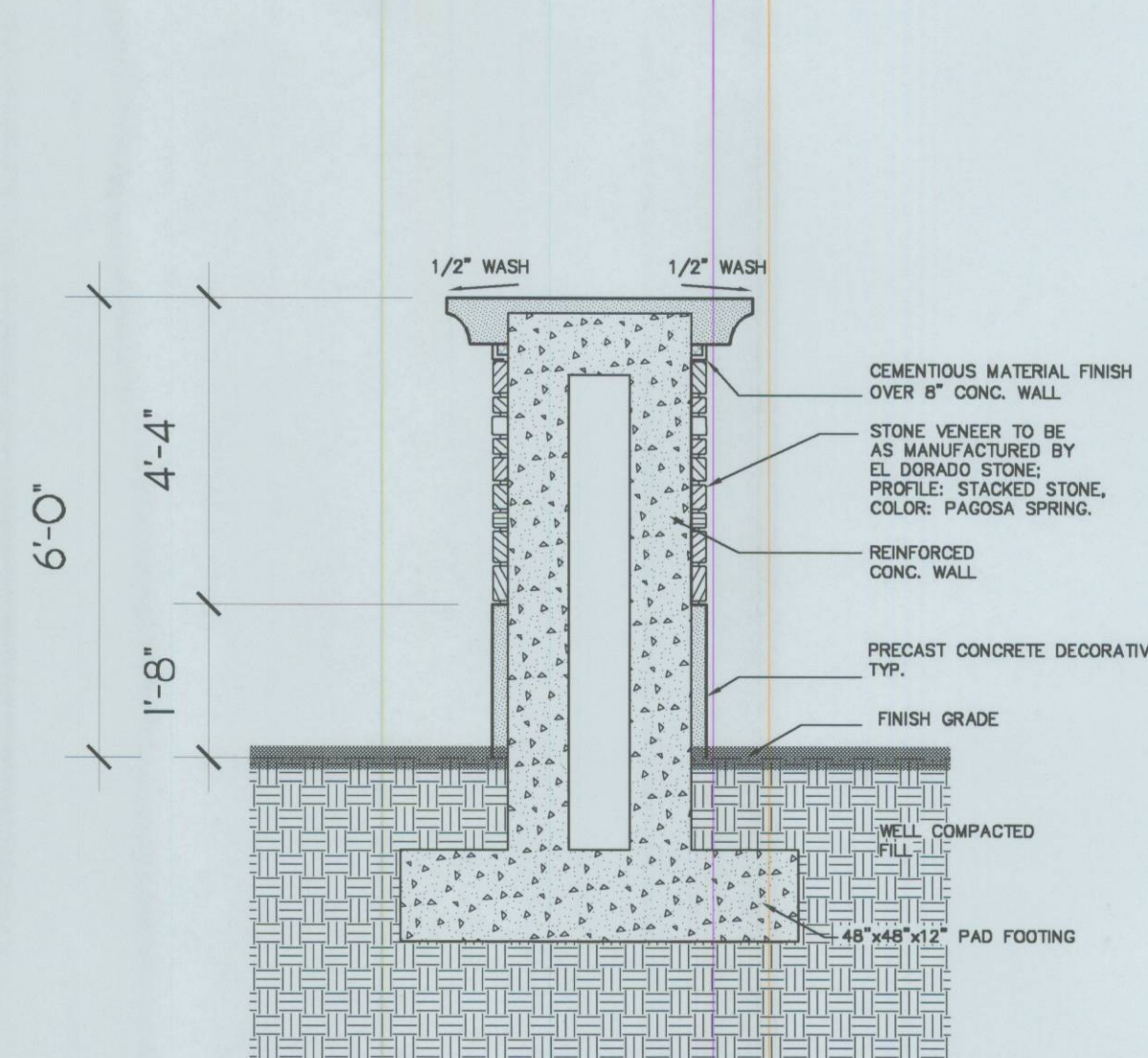
1 COLUMN SECTION
A-2.0 SCALE 1/2"=1'-0"



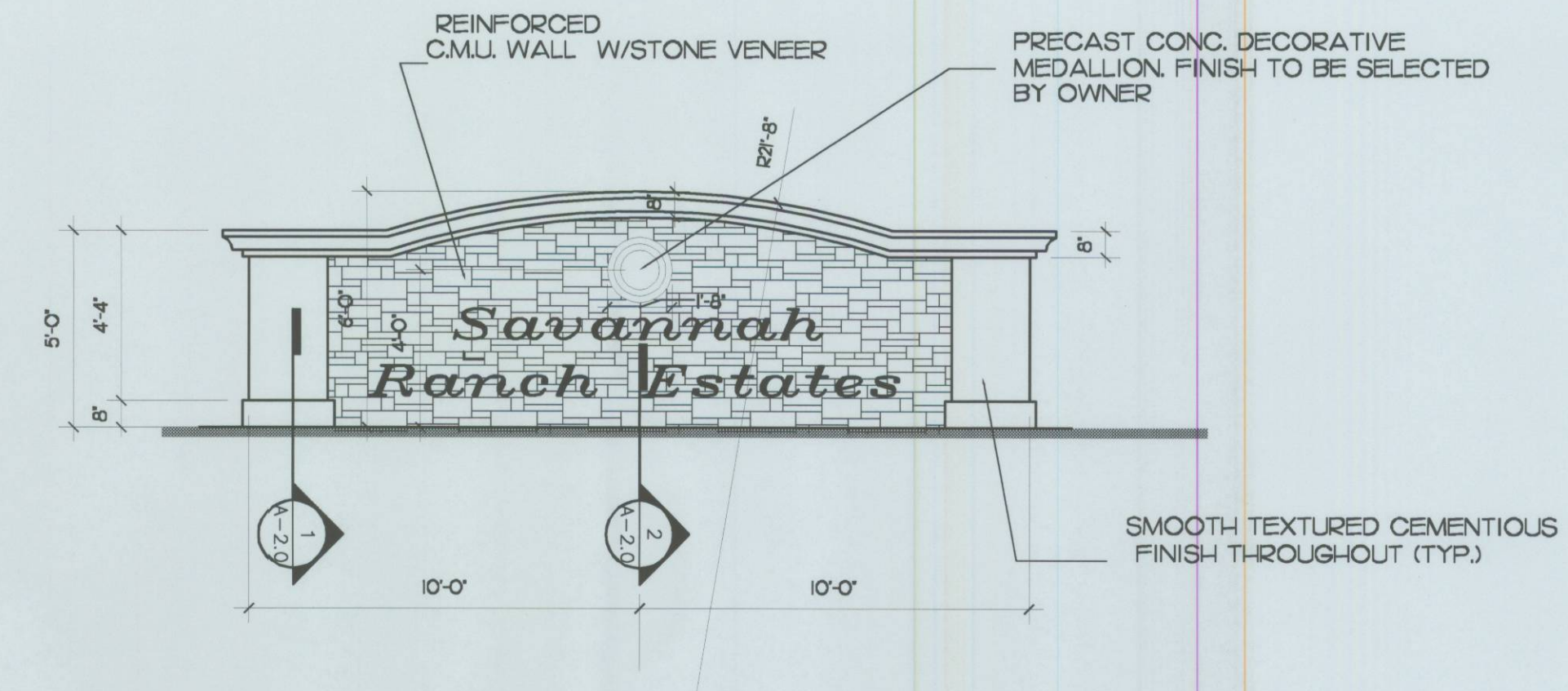
2 WALL SECTION
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3 WALL SECTION
A-2.0 SCALE 1/2"=1'-0"

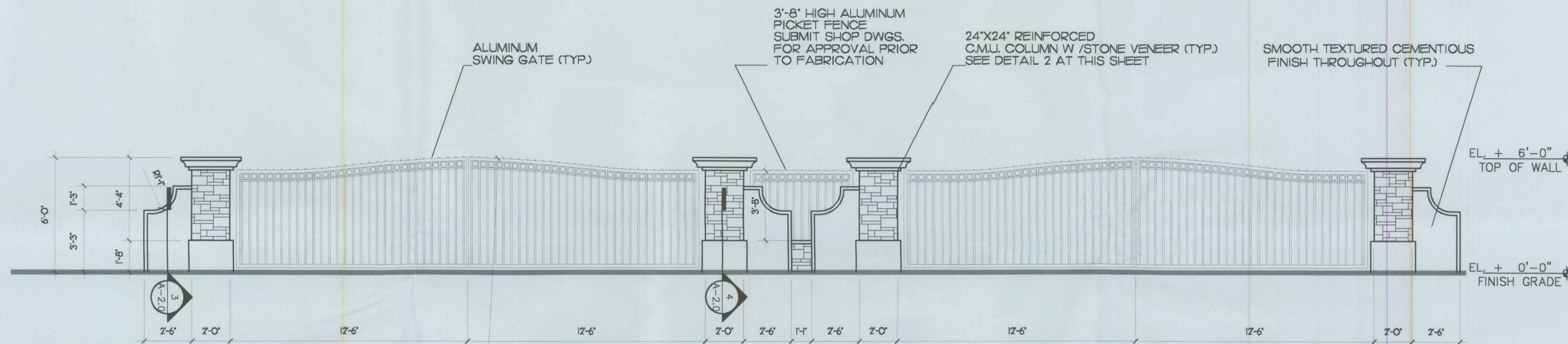


4 COLUMN SECTION
A-2.0 SCALE 1/2"=1'-0"



ENTRY MONUMENT ELEVATION

SCALE: 1/4"=1'-0"



ENTRY GATE ELEVATION

SCALE: 1/4"=1'-0"



1320 S. DIXIE HWY, No 1070
CORAL GABLES, FL 33146
LIC. No. AA-C002151 TEL (305) 448-7383

PROJECT NAME:

MORENO
FARMS

MIAMI-DADE COUNTY,
FLORIDA

OWNER:

LENNAR
HOMES

CONSULTANTS:

PHASE

DESIGN DEVELOPMENT

REVISIONS

SEAL

Angel Puentes
11/11/07

ANGEL PUENTES
ARCHITECT NO. 0009348
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CORAL GABLES, FL 33146

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SHEET TITLE

ENTRY MONUMENT
& GATE PLAN

DATE: 11-21-2006

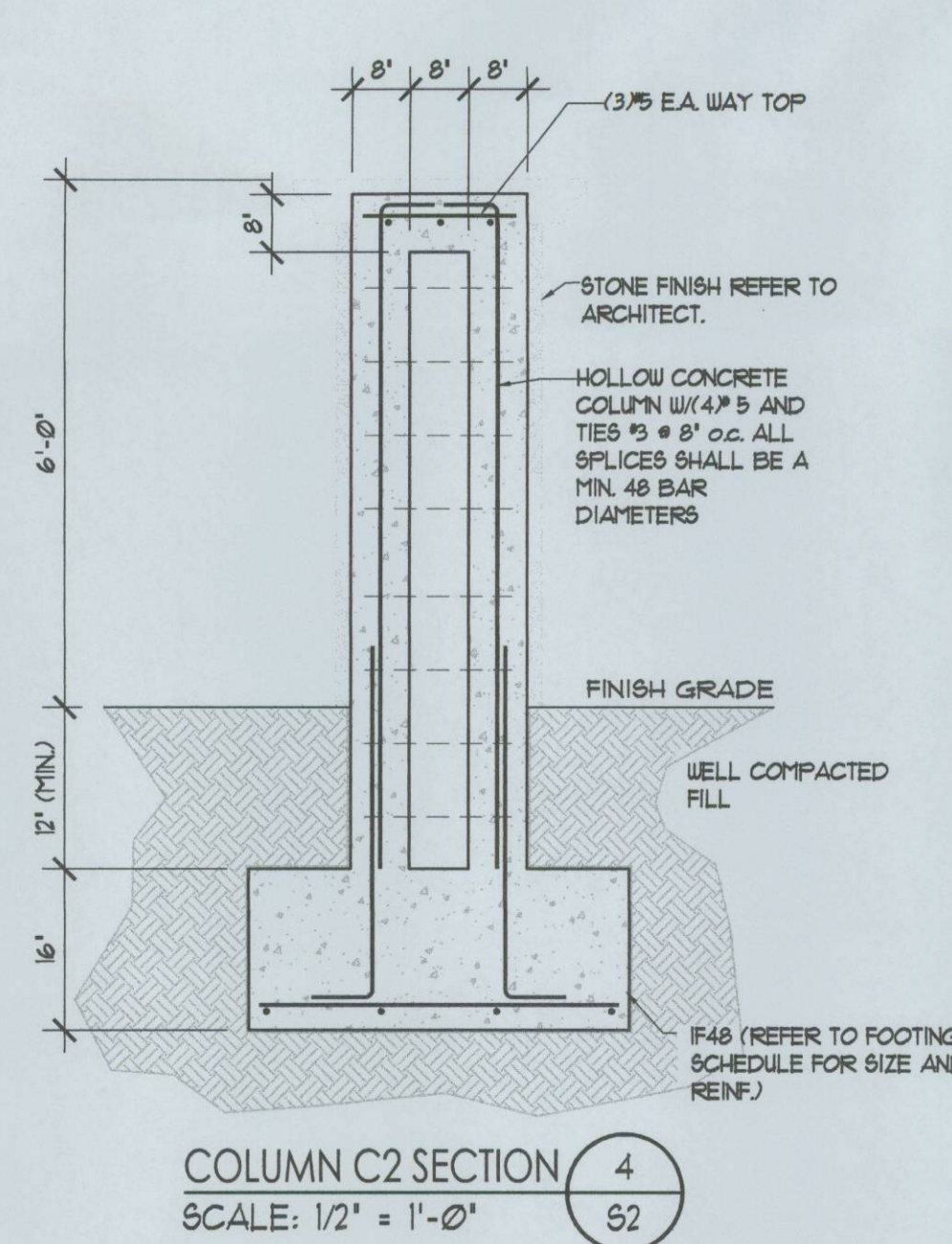
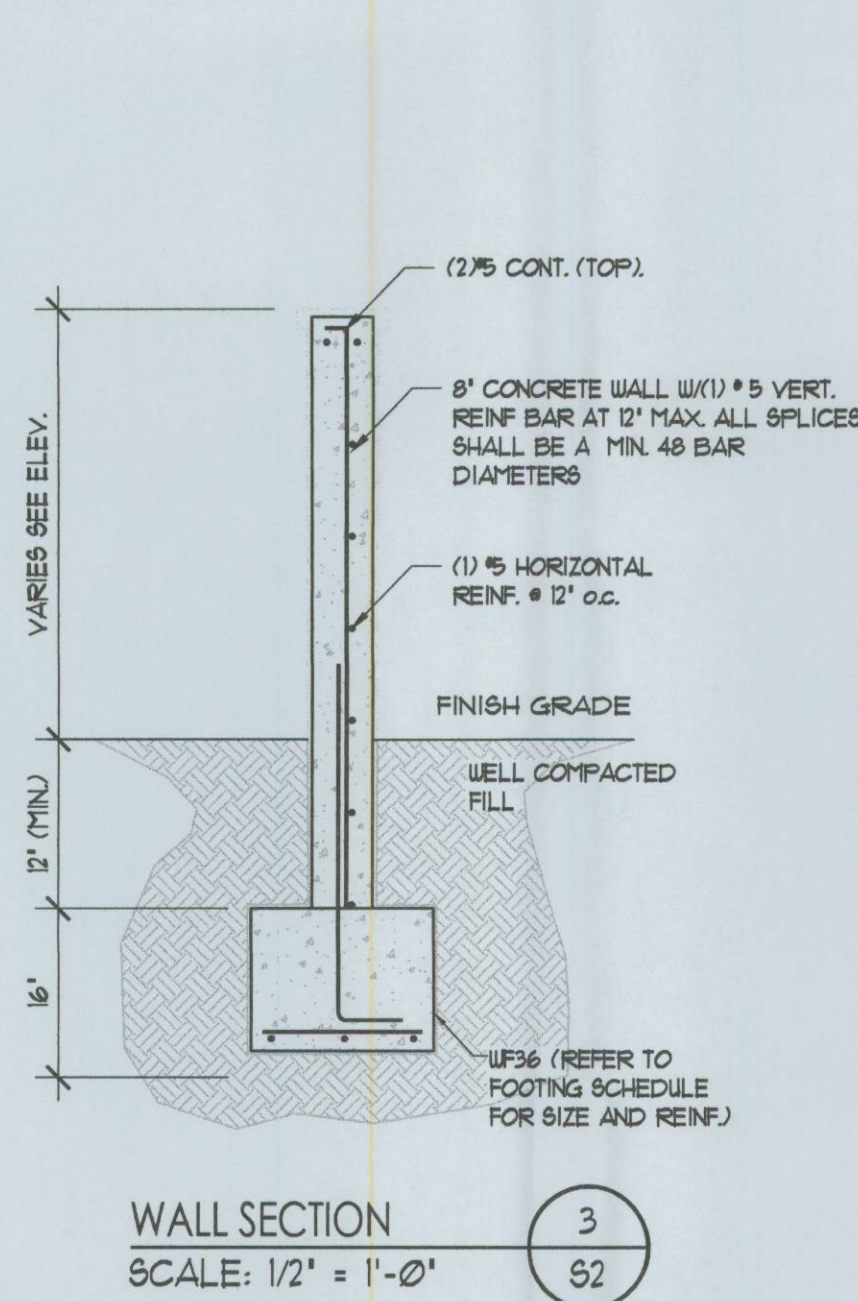
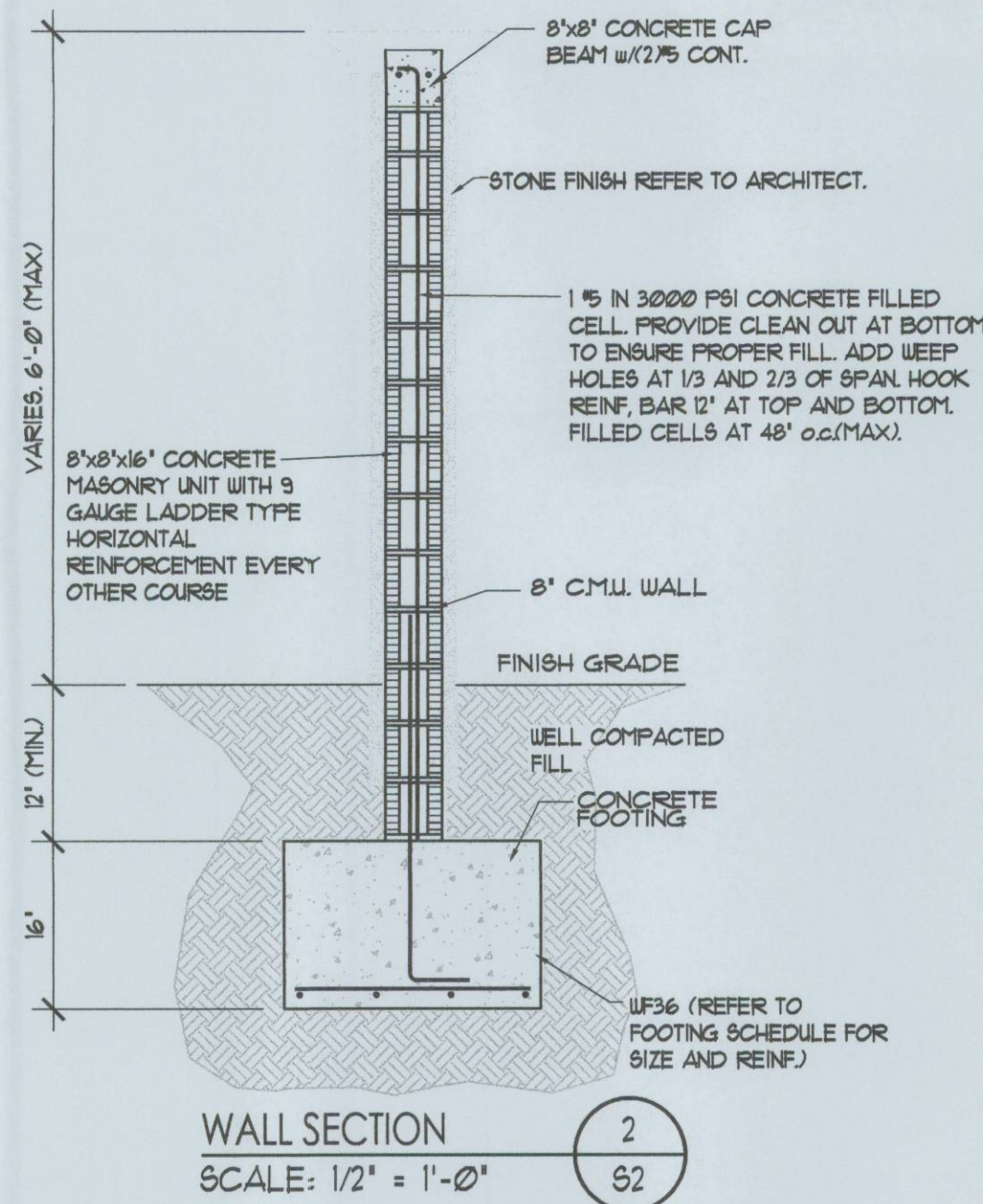
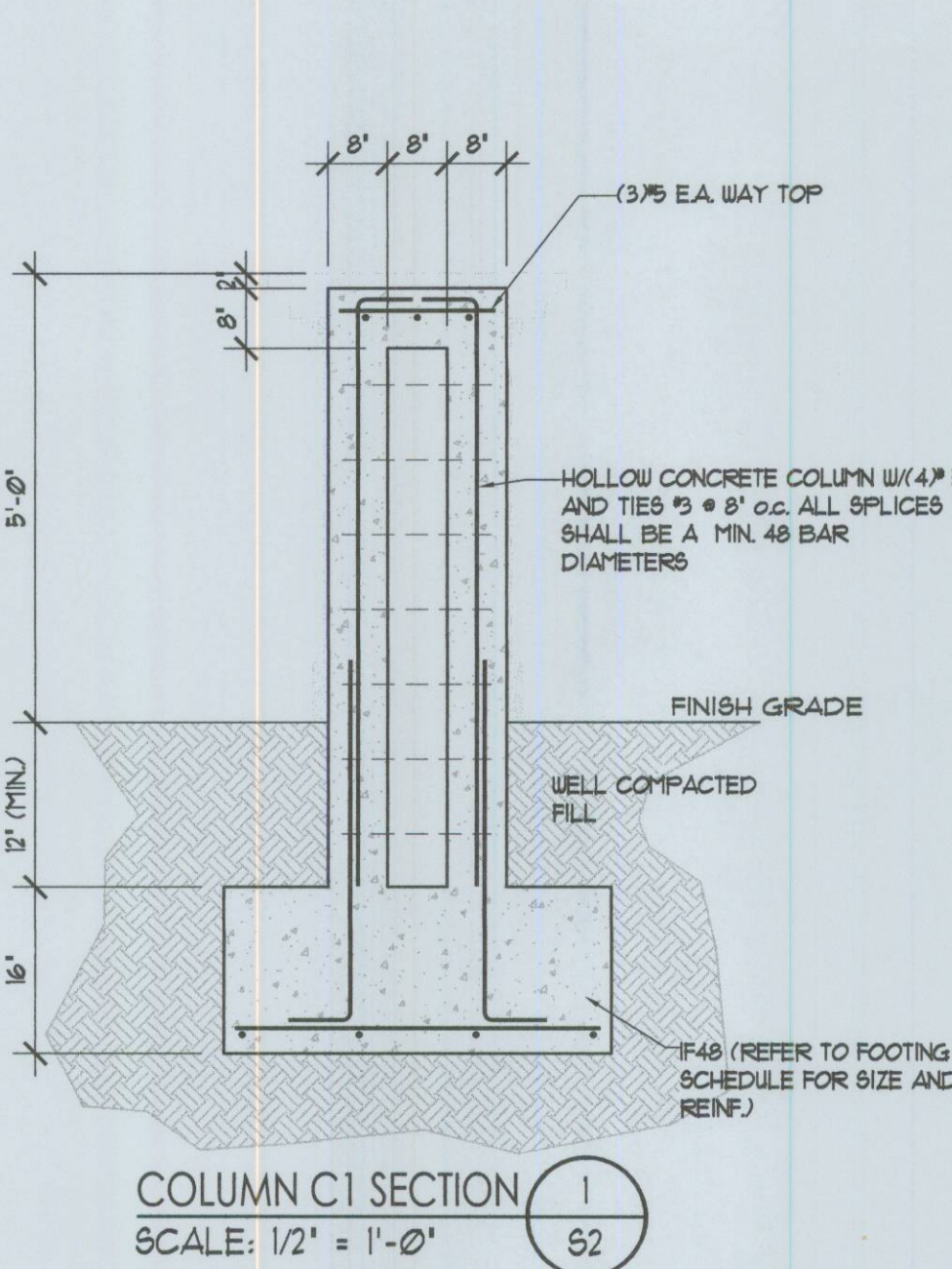
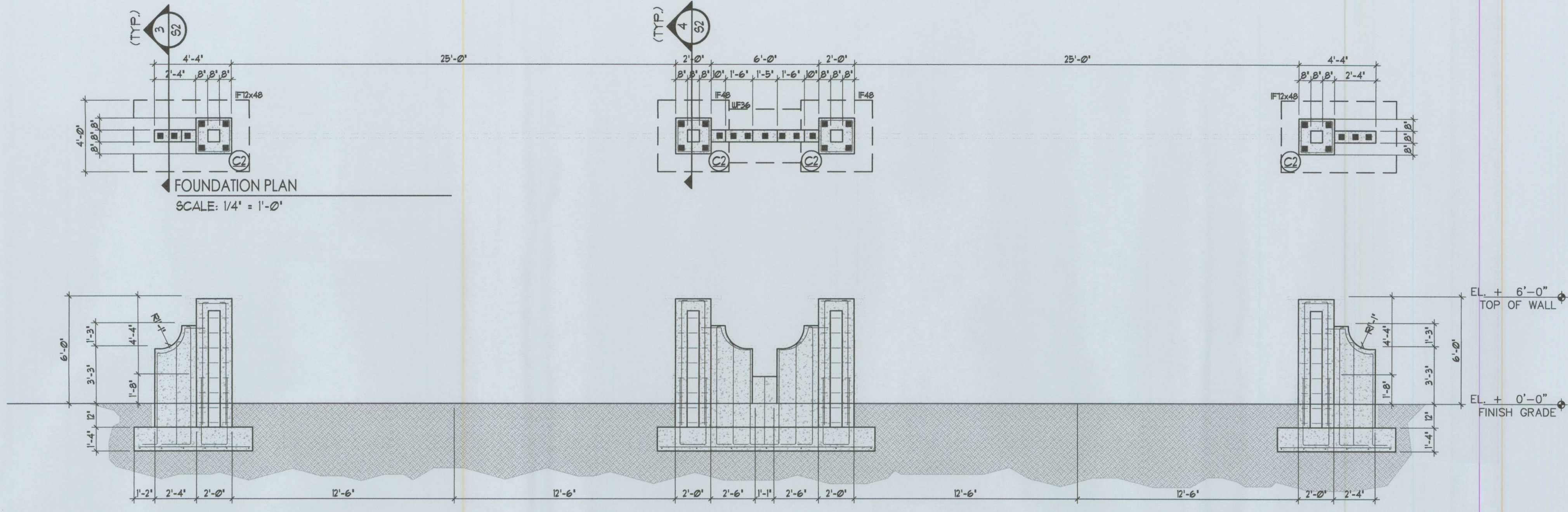
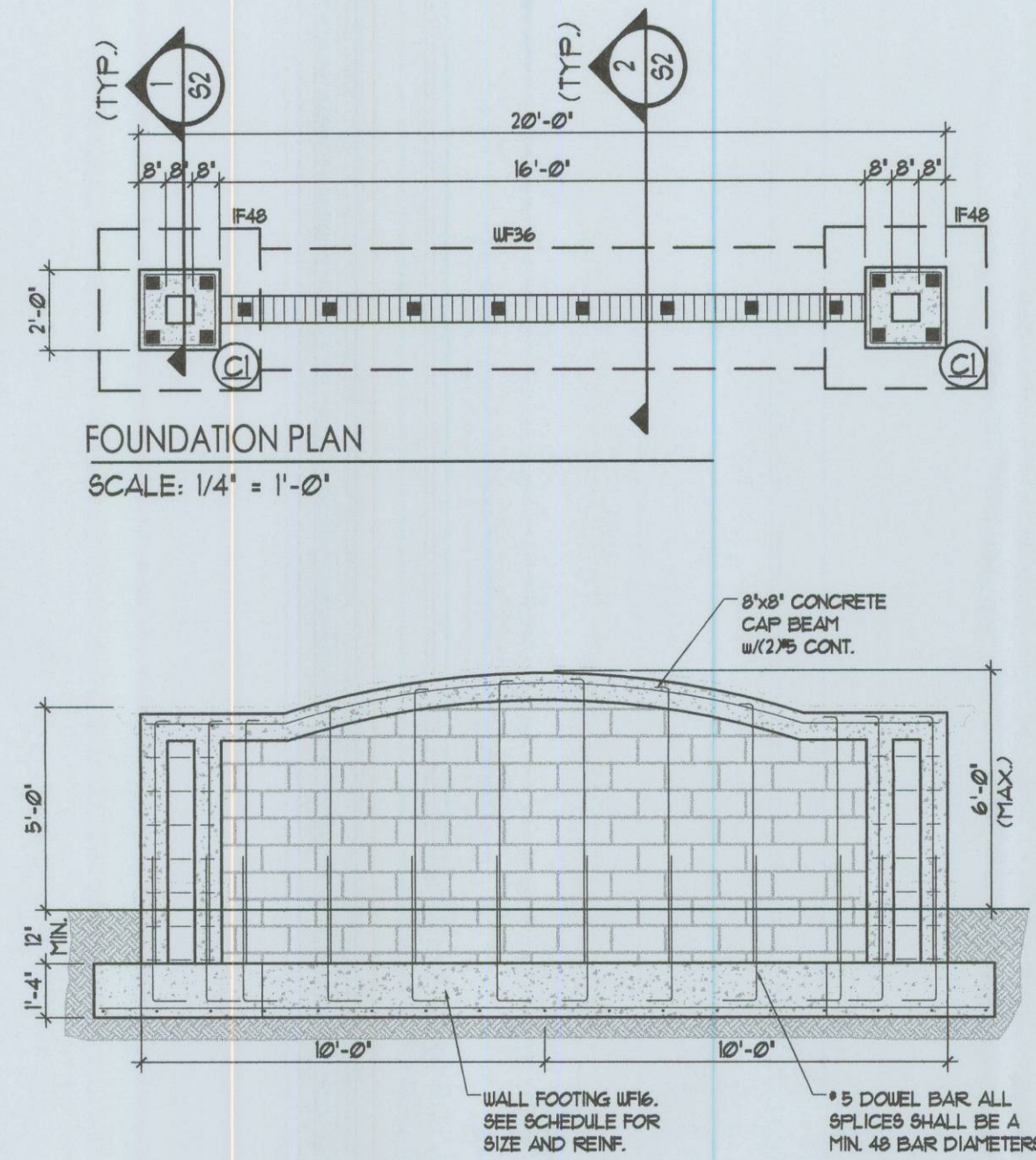
JOB NO. 2006-31

DRAWN BY GL

APPR BY AMC

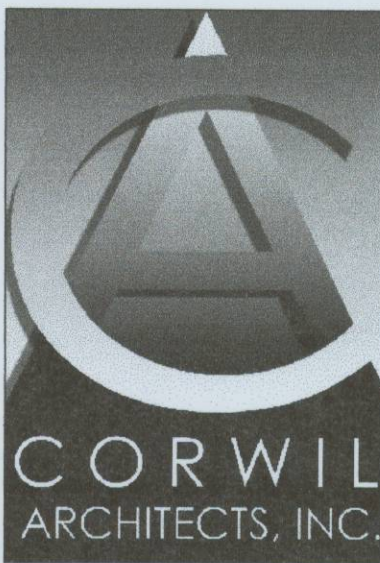
FILE 2006-31

SHEET NO.



FOOTING SCHEDULE									
MARK	FOOTING TYPE	WIDTH	LENGTH	DEPTH	REINFORCEMENT				REMARKS
					A	B	C	D	
IF48	A	48"	48"	16"	5 #5	5 #5			ISOLATED FOOTING
IF48x12	A	48"	12"	16"	5 #5	1 #5			ISOLATED FOOTING
WF36	A	36"	CONT.	16"	4 #5	4 #24" O.C.			WALL FOOTING


NOTE:
- CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSION, SIZE AND LOCATIONS OF COLUMNS AND WALLS WITH ARCHITECTURAL DIGG.
- ARCHITECT TO REVIEW AND APPROVE ALL COLUMN DIMENSIONS.
- ALL SPLICES TO BE A MINIMUM OF 48 BAR DIAMETERS.
- COMPRESSIVE STRENGTH OF CONCRETE FOR COLUMNS AND WALLS SHALL BE 3000 PSI UNO.
- EXTEND DUR-O-WALL REINFORCEMENT 6" INTO POURED COLUMN @ 16"



1320 S. DIXIE HWY. No 1070
CORAL GABLES, FL 33146
LIC. No. AA-C002151 TEL: (305) 448-7383

PROJECT NAME:
MORENO FARMS

MIAMI-DADE COUNTY,
FLORIDA
OWNER:
LENNAR HOMES

CONSULTANTS:

NODALCO ENGINEERING, INC.
STRUCTURAL ENGINEERS
CARLOS A. NODAL - P.E. #49896
ROBERT VALDES - P.E. #21968
10816 N.W. 50th STREET, SUITE 201, BOCA RATON, FL 33433
Ph. (954) 741-8878 Fax. (954) 741-8838

Valdes
NOV 05 2007

PHASE _____

REVISIONS

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

SEAL _____

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SHEET TITLE
STRUCTURAL NOTES

DATE:	7-13-2007
JOB NO.	2006-31
DRAWN BY	C.B.
APPR BY	AMC
FILE	2006-31
SHEET NO.	

APPLICABLE CODES

1. FLORIDA BUILDING CODE 2006 EDITION.
2. A.C.I. 318-02 FOR REINFORCED CONCRETE.
3. A.C.I. 318-02 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT OR MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
4. A.C.I. 530-02 AND A.C.I. 530-1-02 FOR REINFORCED MASONRY.
5. A.I.S.C. STEEL CONSTRUCTION A&D. FOR STRUCTURAL STEEL, NINTH EDITION.
6. ANSI/AWS D14.
7. A.S.C.E. 7-02 FOR WIND ANALYSIS AND DESIGN.
8. A.S.T.M. STANDARDS AND SPECIFICATIONS. AMERICAN SOCIETY FOR TESTING AND MATERIALS.

MATERIALS (U. O. N. ON PLANS)

1. CONCRETE:
 - ALL STRUCTURAL CONCRETE SHALL CONFORM TO ACI-301, COMPRESSIVE STRENGTH:
 - TIE BEAMS, COLUMNS, WALLS AND ELEVATED SLABS = 3,000 PSI
 - SLAB ON GRADE, MONOLITHIC FOOTINGS AND FOOTING PADS = 3,000 PSI
2. STEEL REINFORCEMENT: SHALL CONFORM TO ASTM A615, GRADE 60, fy = 60,000 PSI. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185.
3. MASONRY:
 - HOLLOW MASONRY UNITS OF CONCRETE, f'm = 1500 PSI, SHALL COMPLY ASTM C 55, ASTM C 13, ASTM C 90 AND ASTM C 144.
 - GROUT SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS. ASTM C 476.
 - MORTAR TYPE M; SHALL COMPLY WITH ASTM C 270.

DESIGN CRITERIA AND LOADS

1. WIND:
 - WIND NET UPLIFT, AS INDICATED HEREIN ON PLANS, ARE BASED ON GROSS UPLIFT LESS 10 PSF (DEAD LOAD) PER COMPONENTS AND CLADDING ON ZONES 1 AND 2.

BASIC WIND VELOCITY: 90 MPH
OCCUPANCY CATEGORY: I
EXPOSURE: C
IMPORTANCE FACTOR: 1.0

FOUNDATIONS

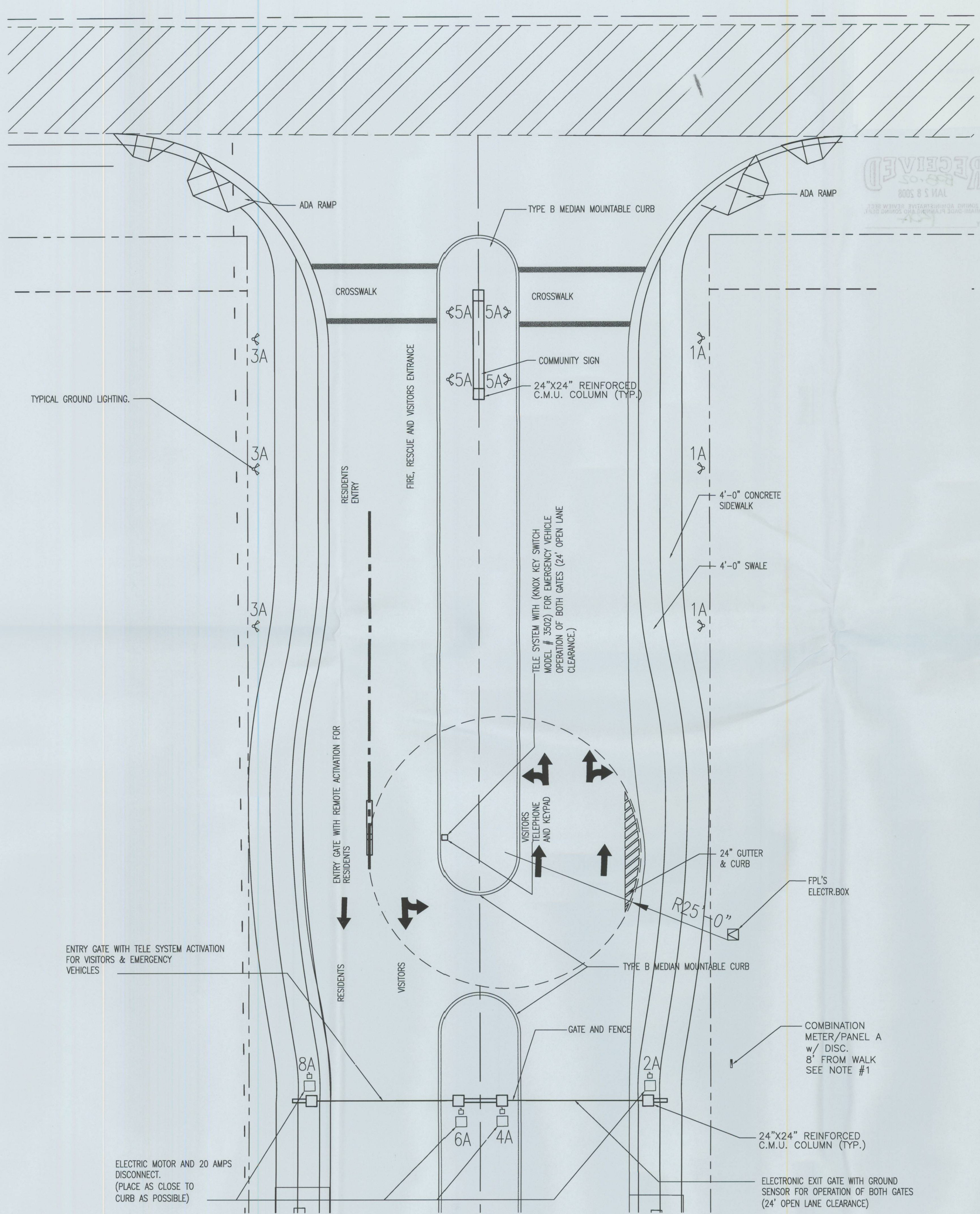
1. AS PER SOIL REPORT SOIL CONDITIONS AT THIS SITE ARE SAND AND ROCK WITH A MINIMUM BEARING CAPACITY OF 3000 PSF. SHOULD OTHER CONDITIONS OR MATERIALS BE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED PRIOR PROCEEDING WITH THE WORK. THE ARCHITECT OR ENGINEER SHALL SUPPLY A LETTER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED ON. SEE F.B.C.
2. THE SUBSURFACE SOIL PROFILES AT THIS PROJECT SITE SHALL BE IMPROVED BY PROPERLY PROGRAMMED APPLICATIONS OF DYNAMIC PRECOMPRESSION TREATMENT OR A SIMILAR ACCEPTABLE TECHNIQUE. TO BE IMPLEMENTED UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER, AS TO ACHIEVE THE REQUIRED DEGREE OF IMPROVEMENT AND DESIGN SOIL BEARING CAPACITY.
3. THE GEOTECHNICAL ENGINEER RESPONSIBLE FOR THE GROUND APPLICATIONS SHALL ISSUE A PROFESSIONAL CERTIFICATION FOR EACH INDIVIDUAL BUILDING OF THIS PROJECT, ATTESTING TO THE SATISFACTORY FOUNDATION SOIL CONDITIONS AND THE ACHIEVEMENT OF THE DESIGN BEARING VALUE BEFORE ANY CONSTRUCTION OPERATION IS ALLOWED TO START FOR ANY SUCH BUILDING.
4. THE AREA UNDER FOUNDATIONS AND SLAB ON GROUND SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION.
5. COMPACT INTERIOR FILL TO 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY AS PER ASTM D-1587 AT OPTIMUM MOISTURE CONTENT AND COMPACTED AND TESTED IN LIFTS NOT TO EXCEED 12 IN.
6. EXCAVATIONS FOR FOUNDATIONS SHALL BE BACKFILLED WITH SOIL, WHICH IS FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, AND LARGE ROCKS.
7. FILL SUPPORTING SUCH SLABS SHALL BE COMPACTED UNDER THE SUPERVISION OF A SPECIAL INSPECTOR TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY FOR ALL LAYERS, AS VERIFIED BY FIELD DENSITY TESTS.

REINFORCED CONCRETE

1. CLEAR COVER FOR REINFORCEMENT SHALL BE:
 - FOOTINGS: CONCRETE CAST AGAINST AN PERMANENTLY EXPOSED TO EARTH: 3'
 - UNFORMED FACES EXPOSED TO EARTH: 3'
 - FORMED FACES IN CONTACT WITH EARTH: 2'
 - SLABS NOT IN CONTACT WITH EARTH: 1½'
 - SLABS EXPOSED TO WEATHER: 3'
 - BEAMS AND COLUMNS: 1½'
2. AGGREGATES SHALL BE CLEAN AND GRADED MAXIMUM SIZES ¾". CONCRETE ASTM C-33 CONFORMS TO ASTM C-94.
3. SLUMP SHALL BE A MINIMUM OF 3" AND MAXIMUM OF 5" CONCRETE DURING AND IMMEDIATELY AFTER DEPOSITING SHALL BY THOROUGHLY COMPACTED BY MEANS OF MECHANICAL VIBRATION.
4. 5 CYLINDERS SHALL BE TAKEN FROM EACH FOUR OF 30 CU. YARDS OF CONCRETE OR FRACTION (AS PER ASTM C-94) THEREOF AND TESTED AT THE FOLLOWING INTERVALS: 1 AT 3 DAYS, 1 AT 7 DAYS, 3 AT 28 DAYS.
5. REINFORCEMENT STEEL SHALL BE FREE OF RUST, FLAKES, MILL SCALE, PAINT, OIL, GREASE, OR OTHER CONTAMINANTS THAT WILL REDUCE BOND. ALL REINFORCING SHALL BE ACCURATELY LOCATED AND FIRMLY HELD IN PLACE BEFORE AND DURING THE PLACEMENT OF CONCRETE BY MEANS OF WIRE SUPPORTS.
6. PROVIDE 2"5 X 48" DIAGONALLY AT CORNERS OF ALL OPENINGS WIDER THAN 15".
7. PROVIDE AT ALL CORNERS 2"5 BARS 60" LENGTH BENT.
8. LAP CONTINUOUS REINFORCING A MINIMUM OF 30" IN BEAMS, 36 BAR DIAMETERS IN SLABS.
9. HOOK ALL DISCONTINUOUS TOP REINFORCING.
10. TIE BEAMS SHALL BE CONTINUOUS REINFORCEMENT, PROVIDED BY LAPPING SPLICES NOT LESS THAN 30". CONTINUITY SHALL BE PROVIDED AT ALL CORNERS BY BENDING 2 BARS FROM EACH DIRECTION AROUND THE CORNER 30" OR BY ADDING 2"5 BENT 30" EACH LEG.
11. CONTINUITY AT COLUMNS SHALL BE PROVIDED BY CONTINUING HORIZONTAL REBARS THROUGH COLUMNS OR BY BENDING HORIZONTAL REINF. INTO COLUMNS A DISTANCE OF 30".
12. EXTEND BOTTOM BARS 8' PAST ALL OPENINGS GREATER THAN 3'-0" ON BOTH SIDES.
13. ALL STRUCTURAL PRECAST UNITS AND THEIR ATTACHMENTS TO THE MAIN STRUCTURE SHALL BE INSPECTED AFTER ERECTION, BUT BEFORE CONCEALMENT. SUCH INSPECTIONS SHALL BE PERFORMED BY FLORIDA REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER.

CONTRACTORS

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ADJACENT STRUCTURES, STREETS, AND SIDEWALKS DURING EXCAVATION AND CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. SHOULD A DISCREPANCY BE FOUND STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT. WORK CANNOT PROCEED UNTIL APPROVAL PRIOR TO THE FABRICATION OR ERECTION OF ALL REINFORCING AND STRUCTURAL STEEL COMPONENTS. ARCHITECT GIVES HIS/HERS WRITTEN AUTHORIZATION TO DO SO.
2. CONTRACTOR SHALL SUBMIT 1 BLUELINE AND 1 REPRODUCIBLE SET OF SHOP DRAWINGS TO THE ARCHITECT FOR
3. CONTRACTOR SHALL TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION, AND REROUTE THE UTILITY LINES TO ACCOMMODATE NEW CONSTRUCTION.
4. CONTRACTOR SHALL WORK THE STRUCTURAL PLANS IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
6. EXISTING STRUCTURE: CONTRACTOR SHALL REVIEW THE ORIGINAL CONSTRUCTION DRAWINGS OF THE EXISTING BUILDING PRIOR TO BIDDING AND DURING CONSTRUCTION TO VERIFY THE EXISTING MEMBERS AFFECTED BY THE NEW CONSTRUCTION.
7. THE USE OF SCALE TO OBTAIN DIMENSIONS NOT SHOWN ON THESE PLANS IS STRICTLY FORBIDDEN. THE ENGINEER WILL NO BE RESPONSIBLE FOR ERRORS RESULTING FROM SUCH ACTION.
8. IN CASE OF DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL PLANS, THE ARCHITECTURAL PLANS SHALL GOVERN UNLESS STRENGTH IS AFFECTED.
9. ALL SPECIFIED MATERIALS AND CONNECTORS CAN BE SUBSTITUTED WITH EQUAL OR BETTER, WITH THE APPROVAL OF ENGINEER OF RECORD.
10. CONTRACTOR SHALL VERIFY THAT STRUCTURE IS CONSTRUCTED WITHIN THE CONFINES OF BUILDING PAD



TYPE: CUTLER HAMMER OR EQUAL
SERVICE: FPL
VOLTAGE: 120/240V, 1Ø, 3W
MOUNTING: FREE STANDING

PANEL A

MAIN BUS: 80 A
NEUTRAL: 80 A
MAIN: AIC: 22,000 A

AMPS	POLES	LOAD (VA)	COND. SIZE	WIRE SIZE	REMARKS	CRT NO	CRT NO	REMARKS	WIRE SIZE	COND. SIZE	LOAD (VA)	POLES	AMPS
20	1	600	3/4"	12	GROUND LIGHTS	1	2	EXIT GATE MOTOR #1	12	3/4"	1120	1	20
20	1	600	3/4"	12	GROUND LIGHTS	3	4	EXIT GATE MOTOR #2	12	3/4"	1120	1	20
20	1	600	3/4"	12	GROUND LIGHTS	5	6	EXIT GATE MOTOR #3	12	3/4"	1120	1	20
					SPARE	7	8	EXIT GATE MOTOR #4	12	3/4"	1120	1	20
					SPARE		9	SPARE					
					SPARE		10	SPARE					
					SPARE		11	SPARE					
					SPARE		12	SPARE					
					SPARE		13	SPARE					
					SPARE		14	SPARE					

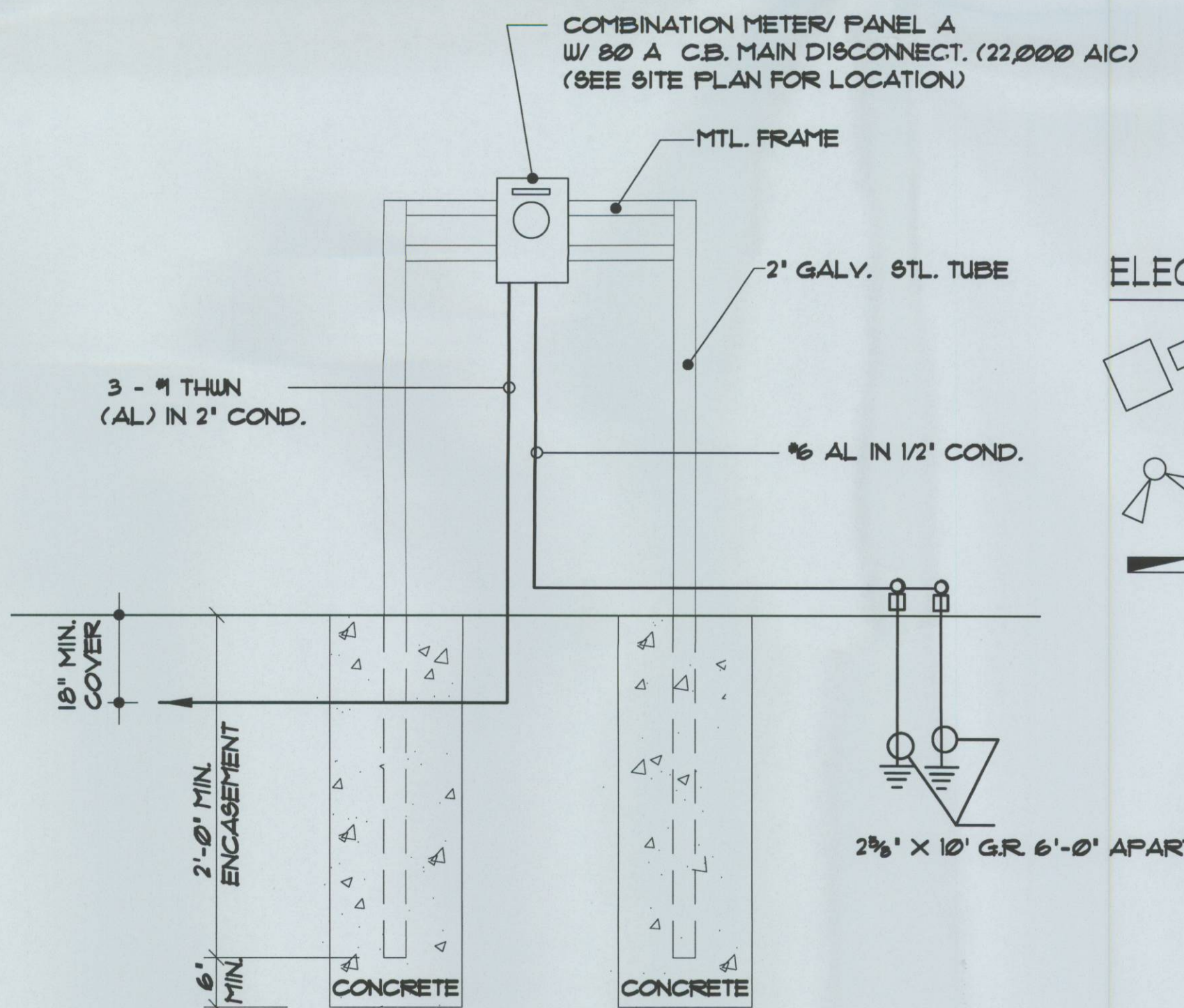
CONNECTED LOAD: 6280
6280/ 240 → 26.2 AMP
(125%) → 32.8. AMP

FEEDER: 3 - #1 THWN
(AL) IN 2" COND.

FED FROM: FPL

ELECTRICAL NOTES:

1. ELECTRICAL METER/PANEL A COMBINATION LOCATION MAY VARY AS PER SERVICE ENTRANCE REQUIREMENTS.
2. ELECTRICAL CONTRACTOR TO COORDINATE SERVICE WITH F.P.L.
3. MAIN CIRCUIT BREAKER PANELS SHALL BE LOCATED ABOVE BASE FLOOD ELEVATION.
4. IT IS SUGGESTED THAT YOU CONFER WITH FLORIDA POWER AND LIGHT TO LOCATE THE ELECTRICAL METER TO COMPLY WITH FEDERAL EMERGENCY MANAGEMENT AGENCY REQUIREMENTS
5. OUTSIDE LIGHTS ON TIMER
6. ELECTRIC MOTOR FOR EACH EXIT GATE SHALL BE WATER PROOF AND SHALL HAVE A DISCONNECT SWITCH

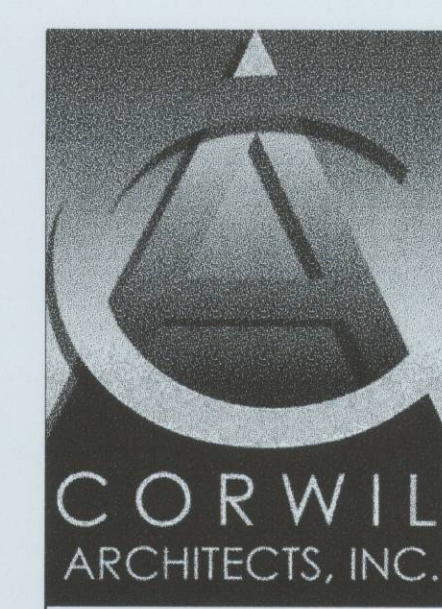


ELECTRIC METER

SCALE: NOT TO SCALE

ELECTRICAL LEGEND:

- EXIT GATE MOTOR WITH DISCONNECT SWITCH WEATHER PROOF
- GROUND LIGHTS
- COMB. METER/PANEL A



1320 S. DIXIE HWY, No 1070
CORAL GABLES, FL 33146
LIC. No. AA-C002151 TEL: (305) 448-7383

PROJECT NAME:
MORENO FARMS
MIAMI-DADE COUNTY,
FLORIDA
OWNER:
LENNAR HOMES

CONSULTANTS:

PHASE	CD
REVISIONS	

SEAL

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SHEET TITLE
ENTRY FEATURE ELECTRICAL PLAN

DATE:	11-21-2006
JOB NO.	2006-31
DRAWN BY	FT
APPR BY	
FILE	2006-31
SHEET NO.	